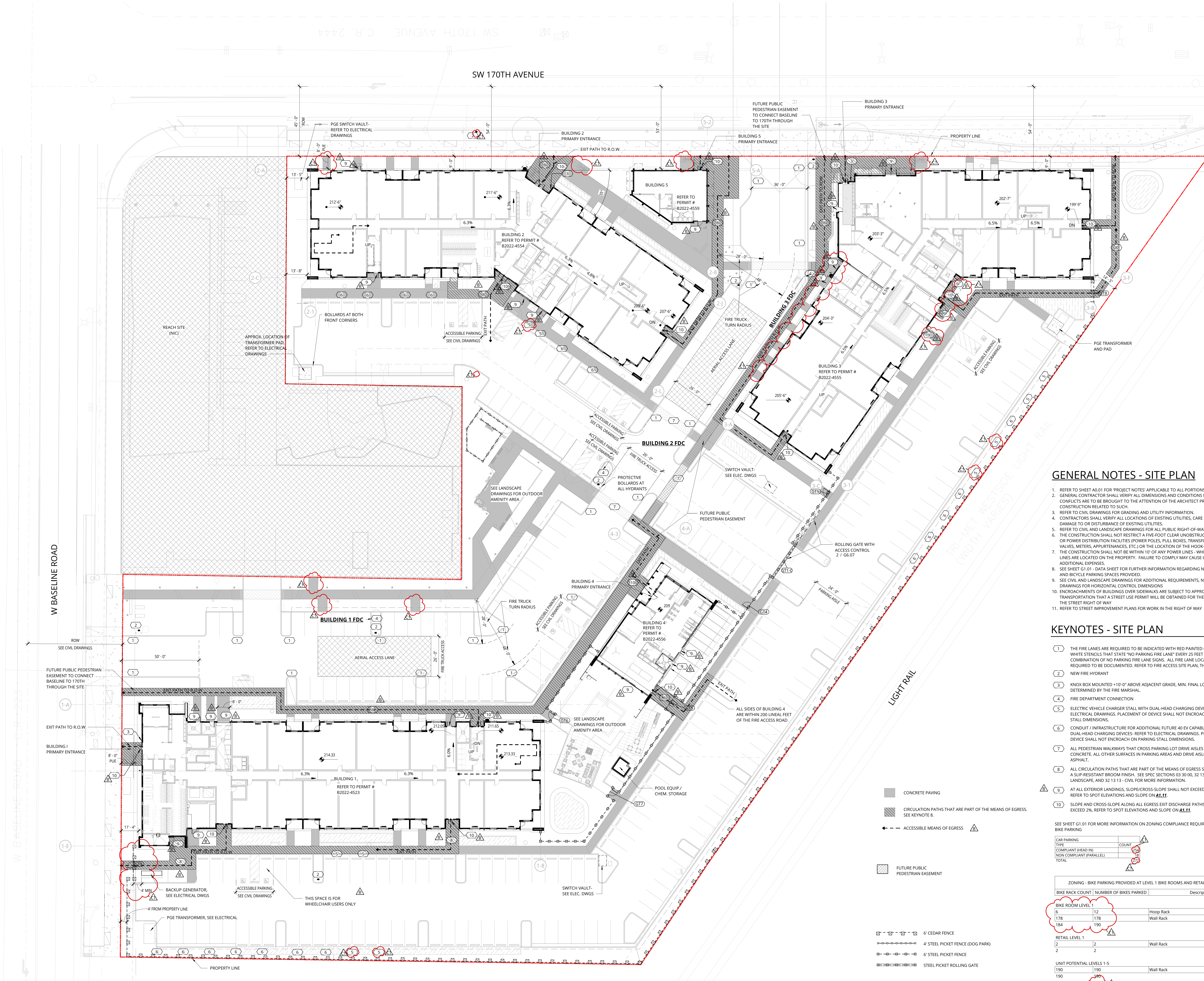


PROJECT BASE POINT
0.0
N 655.71
E 11740.01
ANGLE TO TRUE NORTH
91.428



GENERAL NOTES - SITE PLAN

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CONFLICTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION RELATED TO SUCH.
- REFER TO CIVIL DRAWINGS FOR GRADING AND UTILITY INFORMATION.
- CONTRACTORS SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITIES. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO OR DISTURBANCE OF EXISTING UTILITIES.
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL PUBLIC RIGHT-OF-WAY IMPROVEMENTS.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR THE LOCATION OF THE HOOK-UP.
- THE CONSTRUCTION SHALL NOT BE WITHIN 10' OF ANY POWER LINES - WHETHER OR NOT THE POWER LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS OR ADDITIONAL EXPENSES.
- SEE SHEET G1.01 - DATA SHEET FOR FURTHER INFORMATION REGARDING NUMBER AND TYPE OF VEHICLE AND BICYCLE PARKING SPACES PROVIDED.
- SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL REQUIREMENTS, NOTES, & DETAILS SEE CIVIL DRAWINGS FOR HORIZONTAL CONTROL DIMENSIONS.
- ENCROACHMENTS OF BUILDINGS OVER SIDEWALKS ARE SUBJECT TO APPROVAL BY THE DIRECTOR OF TRANSPORTATION THAT A STREET USE PERMIT WILL BE OBTAINED FOR THE CANOPIES THAT EXTEND INTO THE STREET RIGHT OF WAY.
- REFER TO STREET IMPROVEMENT PLANS FOR WORK IN THE RIGHT OF WAY.

KEYNOTES - SITE PLAN

- THE FIRE LANES ARE REQUIRED TO BE INDICATED WITH RED PAINTED CURBS WITH WHITE STENCILS THAT STATE 'NO PARKING FIRE LANE' EVERY 25 FEET AND/ OR A COMBINATION OF NO PARKING FIRE LANE SIGNS. ALL FIRE LANE LOCATIONS ARE REQUIRED TO BE DOCUMENTED. REFER TO FIRE ACCESS SITE PLAN, THIS SHEET.
- NEW FIRE HYDRANT
- KNOX BOX MOUNTED +10'-0" ABOVE ADJACENT GRADE, MIN. FINAL LOCATION TO BE DETERMINED BY THE FIRE MARSHAL.
- FIRE DEPARTMENT CONNECTION
- ELECTRIC VEHICLE CHARGER STALL WITH DUAL-HEAD CHARGING DEVICE - REFER TO ELECTRICAL DRAWINGS. PLACEMENT OF DEVICE SHALL NOT ENCROACH ON PARKING STALL DIMENSIONS.
- CONDUIT / INFRASTRUCTURE FOR ADDITIONAL FUTURE 40 EV CAPABLE SPACES WITH DUAL-HEAD CHARGING DEVICES - REFER TO ELECTRICAL DRAWINGS. PLACEMENT OF DEVICE SHALL NOT ENCROACH ON PARKING STALL DIMENSIONS.
- ALL PEDESTRIAN WALKWAYS THAT CROSS PARKING LOT DRIVE AISLES SHALL BE CONCRETE. ALL OTHER SURFACES IN PARKING AREAS AND DRIVE AISLES SHALL BE ASPHALT.
- ALL CIRCULATION PATHS THAT ARE PART OF THE MEANS OF EGRESS SHALL RECEIVE A SLIP-RESISTANT BROOM FINISH. SEE SPEC SECTIONS 03 30 00, 32 13 16 - LANDSCAPE AND 32 13 13 - CIVIL FOR MORE INFORMATION.
- AT ALL EXTERIOR LANDINGS, SLOPE/CROSS-SLOPE SHALL NOT EXCEED 2% SLOPE. REFER TO SPOT ELEVATIONS AND SLOPE ON A1.11.
- SLOPE AND CROSS-SLOPE ALONG ALL EGRESS EXIT DISCHARGE PATHS SHALL NOT EXCEED 2%, REFER TO SPOT ELEVATIONS AND SLOPE ON A1.11.

SEE SHEET G1.01 FOR MORE INFORMATION ON ZONING COMPLIANCE REQUIREMENTS FOR CAR AND BIKE PARKING

CAR PARKING TYPE	COUNT
COMPLIANT (HEAD IN)	38
NON-COMPLIANT (PARALLEL)	2
TOTAL	40

ZONING - BIKE PARKING PROVIDED AT LEVEL 1 BIKE ROOMS AND RETAIL LEVEL 1-5 UNITS

BIKE RACK COUNT	NUMBER OF BIKES PARKED	Description
6	12	Hoop Rack
178	178	Wall Rack
184	190	
RETAIL LEVEL 1		
2	2	Wall Rack
2	2	

UNIT POTENTIAL LEVELS 1-5		
190	190	Wall Rack
190	38	
376	382	

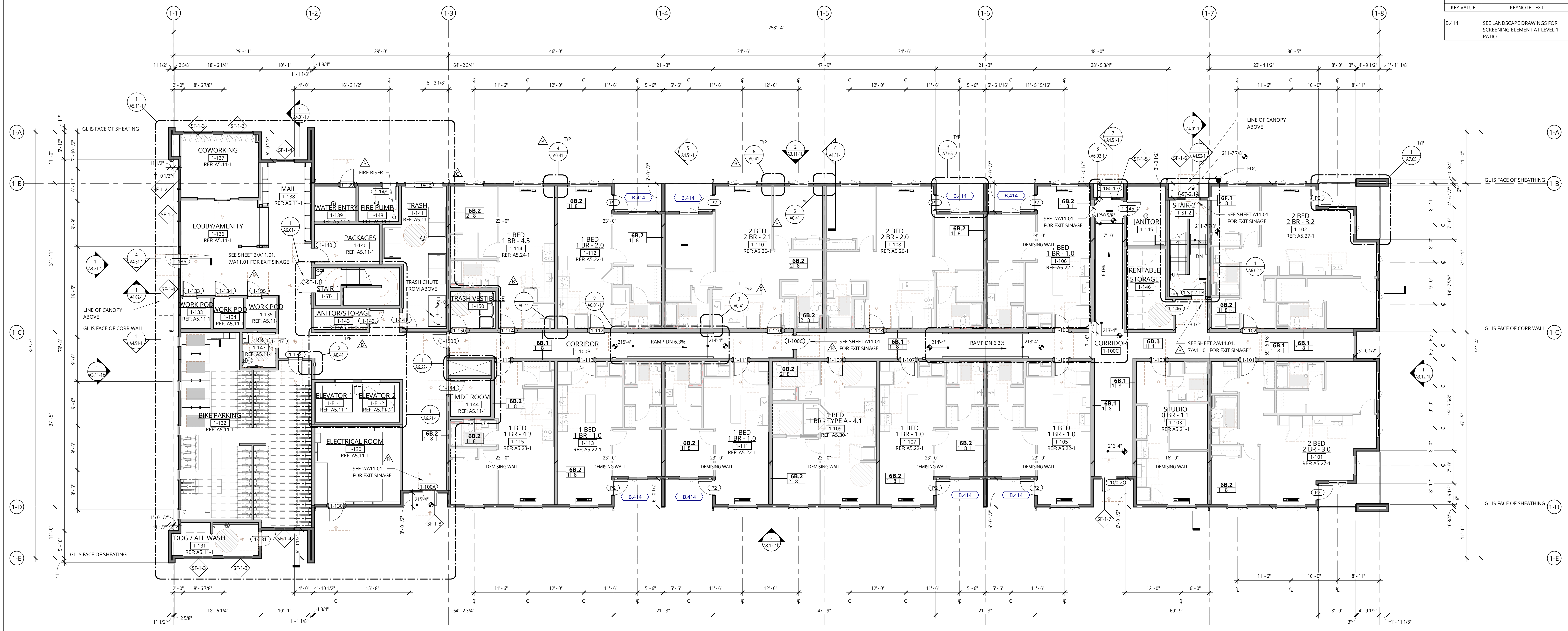
- CONCRETE PAVING
- CIRCULATION PATHS THAT ARE PART OF THE MEANS OF EGRESS. SEE KEYNOTE 8.
- ACCESSIBLE MEANS OF EGRESS
- FUTURE PUBLIC PEDESTRIAN EASEMENT
- 6" CEDAR FENCE
- 4" STEEL PICKET FENCE (DOG PARK)
- 6" STEEL PICKET FENCE
- STEEL PICKET ROLLING GATE

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C1	5/25/2023	Land Use Revision 3

GENERAL NOTES - FLOOR PLANS

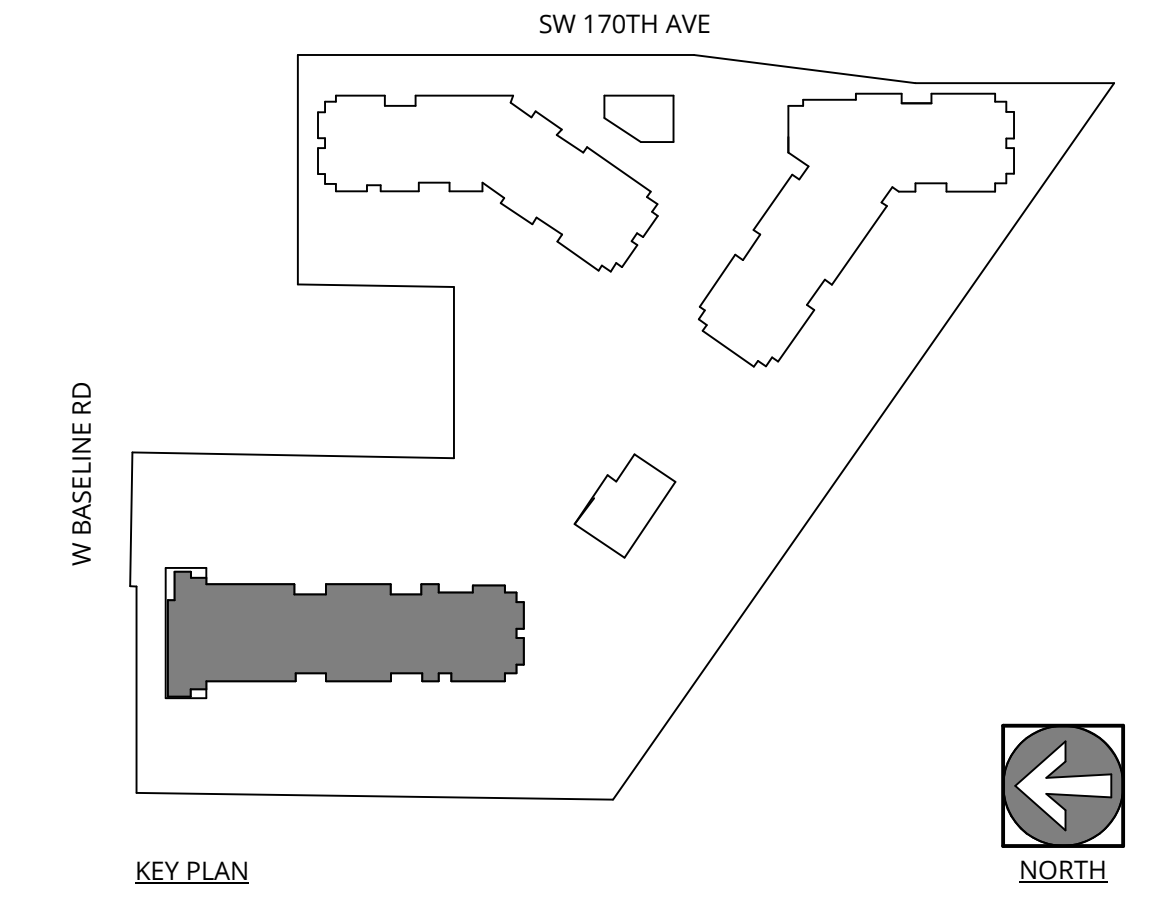
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- SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
- SEE SHEET A0.41 FOR TYPICAL FRAMING AND ACoustICAL DETAILS.
- SEE FIRE/SAFE SHEETS BEGINNING ON 62.21 FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
- REFER TO ENLARGED UNIT PLANS (A2.21 SERIES) FOR DETAILED INFORMATION WITHIN EACH RESIDENTIAL UNIT.
- REFER TO STRUCTURAL DRAWINGS FOR COLUMNS, SHEAR WALL AND BEAM SIZES.
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 - INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8 INCH STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORKING 'FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS' OR OTHER WORKING.
- REFER TO SHEETS 62.12, 62.13, 62.14 AND 62.15 TO REFERENCE THE SLOPE AND CROSS SLOPE FOR ALL MEANS OF EGRESS EXIT DISCHARGE AND CURB HEIGHTS.

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
B.414	SEE LANDSCAPE DRAWINGS FOR SCREENING ELEMENT AT LEVEL 1 PATIO



1 BUILDING 1 - LEVEL 1 - PLAN
1/8" = 1'-0"

BIKE PARKING COUNT BUILDING 1		
BIKE RACK COUNT	NUMBER OF BIKES PARKED	Description
BIKE ROOM LEVEL 1		
3	6	Hoop Rack
63	63	Wall Rack
66	69	
UNIT POTENTIAL LEVELS 1-5		
63	63	Wall Rack
129	132	



NOT FOR CONSTRUCTION



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ELMONICA BUILDING 1
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

LEVEL 1 FLOOR PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A2.01-1

GENERAL NOTES - FLOOR PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
- SEE SHEET A0.41 FOR TYPICAL FRAMING AND ACoustICAL DETAILS.
- SEE FIRE/SAFE SHEETS BEGINNING ON 62.22 FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
- REFER TO ENLARGED UNIT PLANS (A2.21 SERIES) FOR DETAILED INFORMATION WITHIN EACH RESIDENTIAL UNIT.
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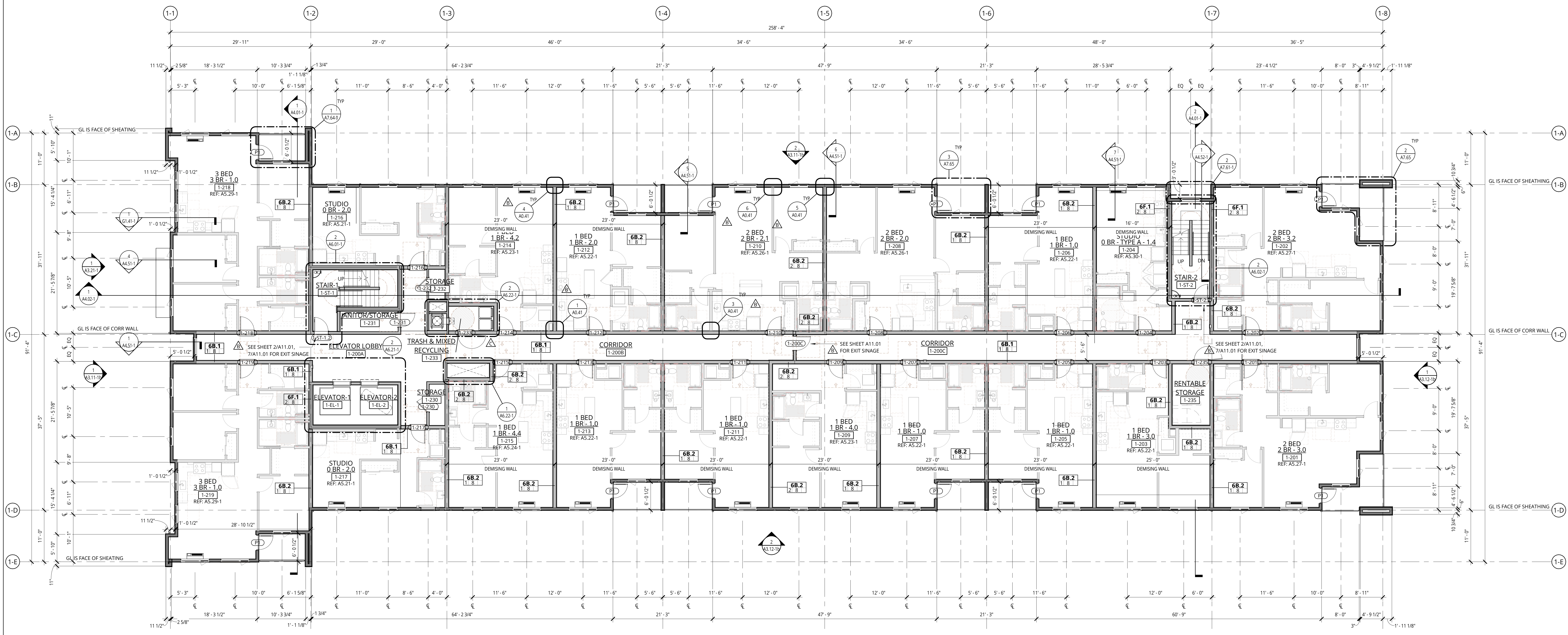


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1 BUILDING 1 - LEVEL 2 - PLAN
1/8" = 1'-0"

ELMONICA BUILDING 1
 SW 170TH AND W BASELINE
 REMBOLD PROPERTIES

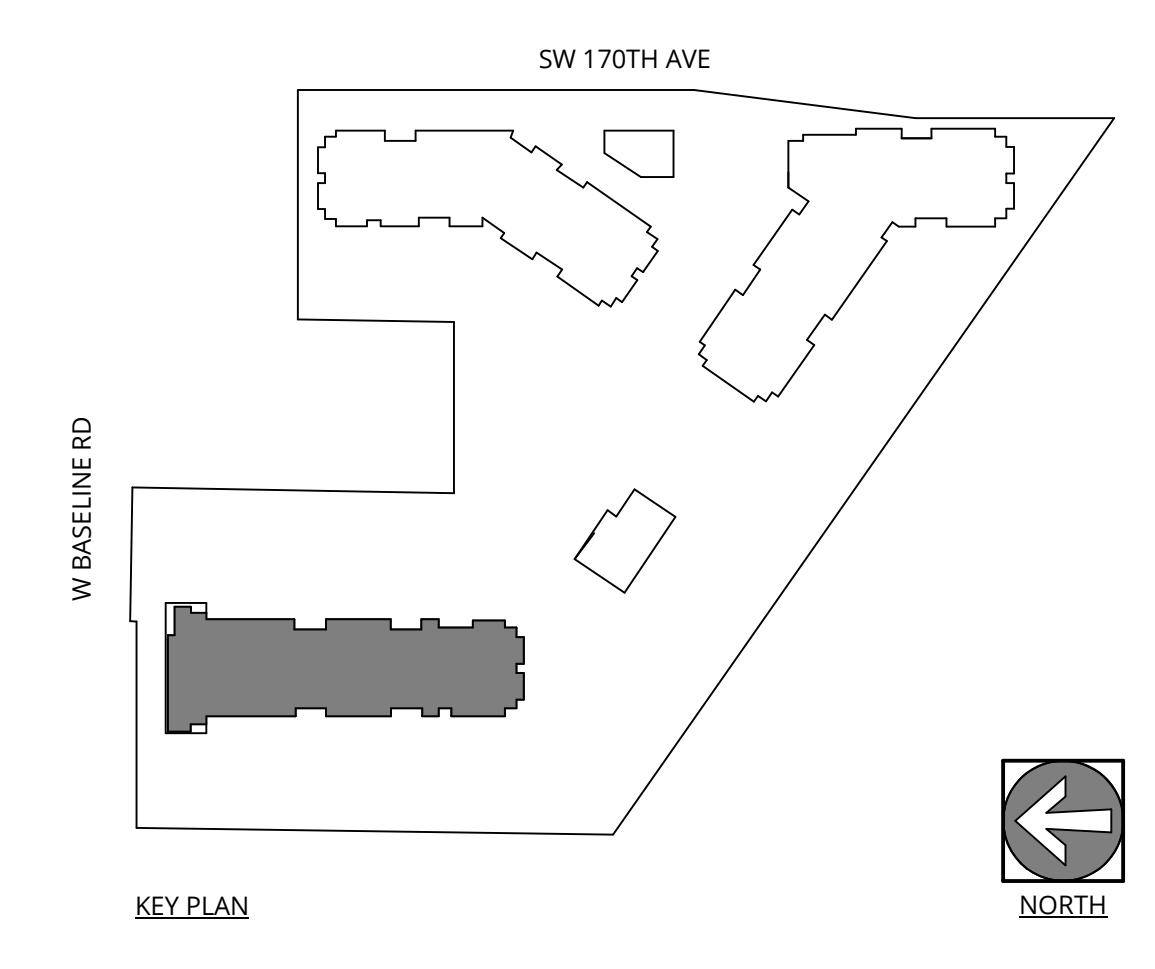
REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

LEVEL 2 FLOOR PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
 SHEET NUMBER:

A2.02-1



GENERAL NOTES - FLOOR PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
- SEE SHEET A0.41 FOR TYPICAL FRAMING AND ACoustICAL DETAILS.
- SEE FIRE/SAFE SHEETS BEGINNING ON 62.21 FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
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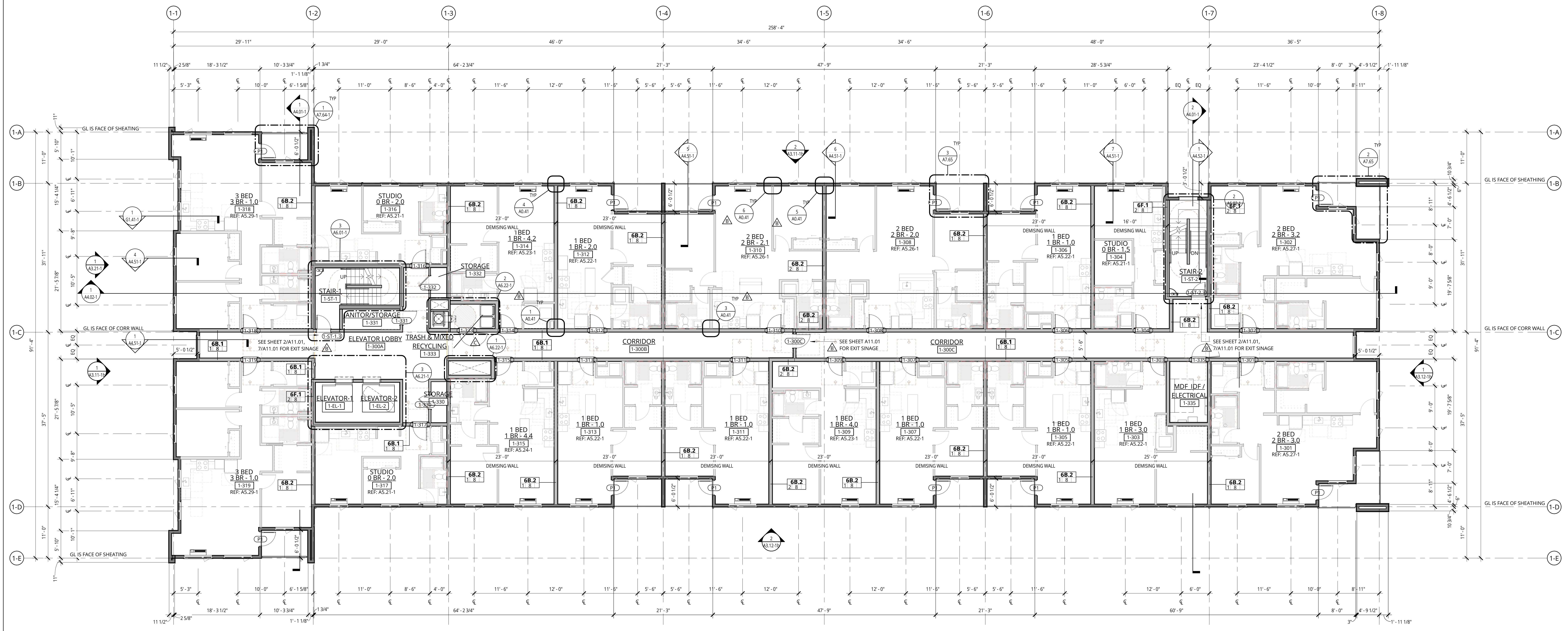


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1 BUILDING 1 - LEVEL 3 - PLAN
1/8" = 1'-0"

ELMONICA BUILDING 1
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

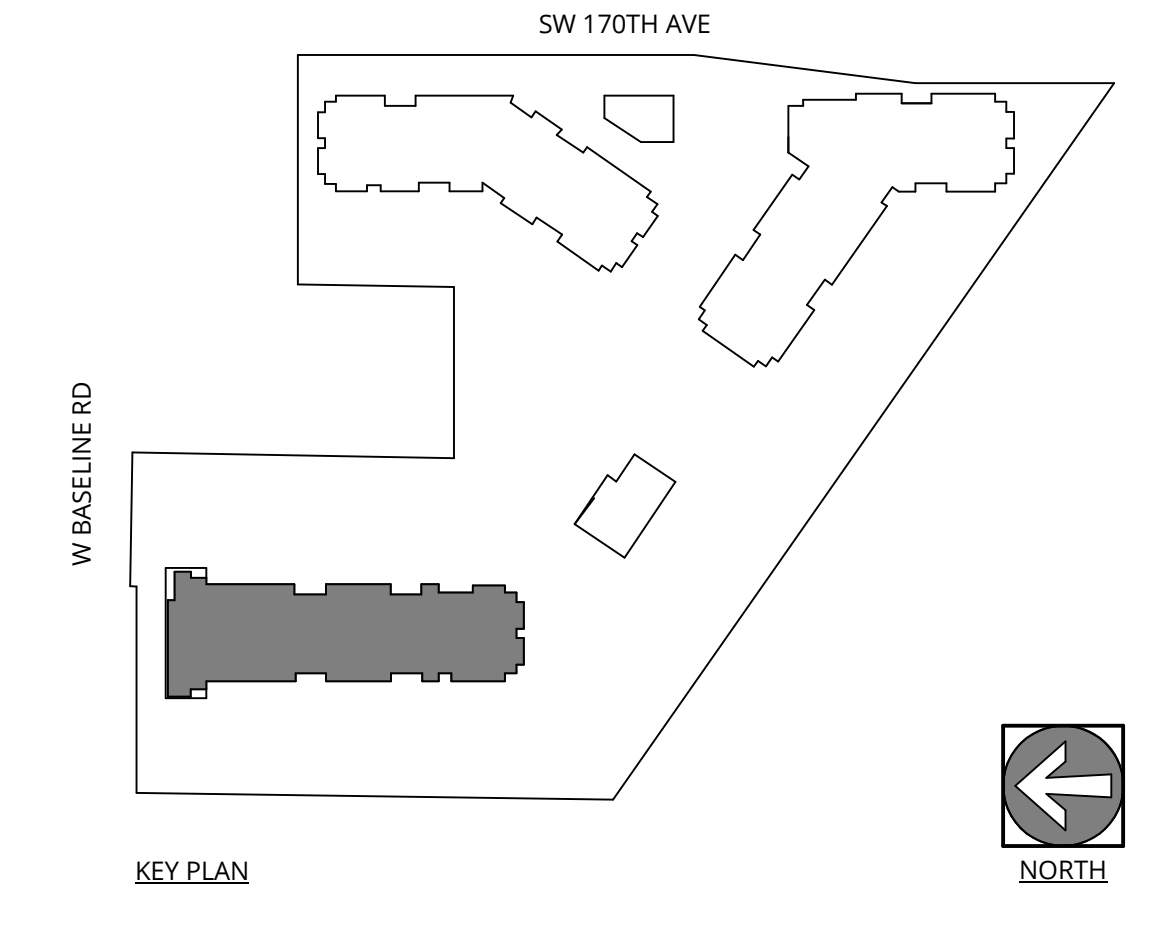
REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

LEVEL 3 FLOOR PLAN

LAND USE

DATE 5.25.2023	PROJECT NUMBER 215390
SHEET NUMBER	

A2.03-1



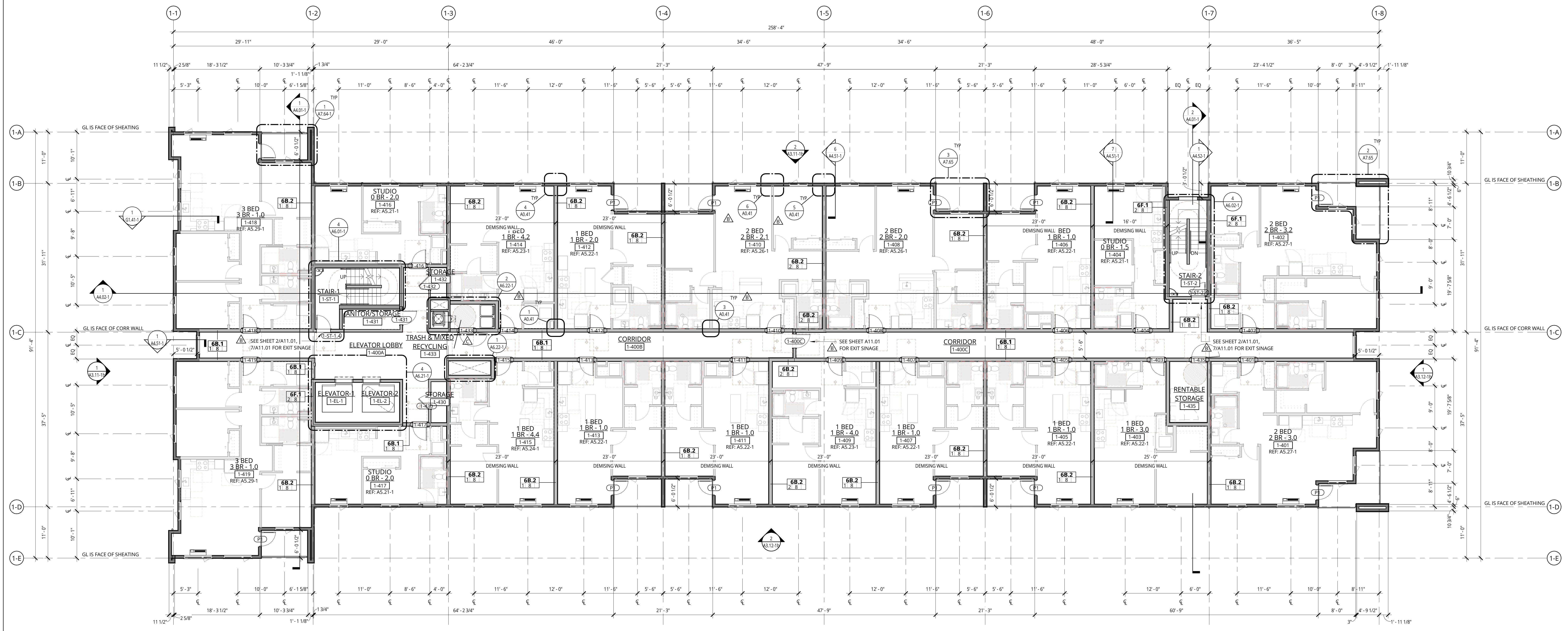
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1 BUILDING 1 - LEVEL 4 - PLAN
 1/8" = 1'-0"

ELMONICA BUILDING 1
 SW 170TH AND W BASELINE

REMBOLD PROPERTIES

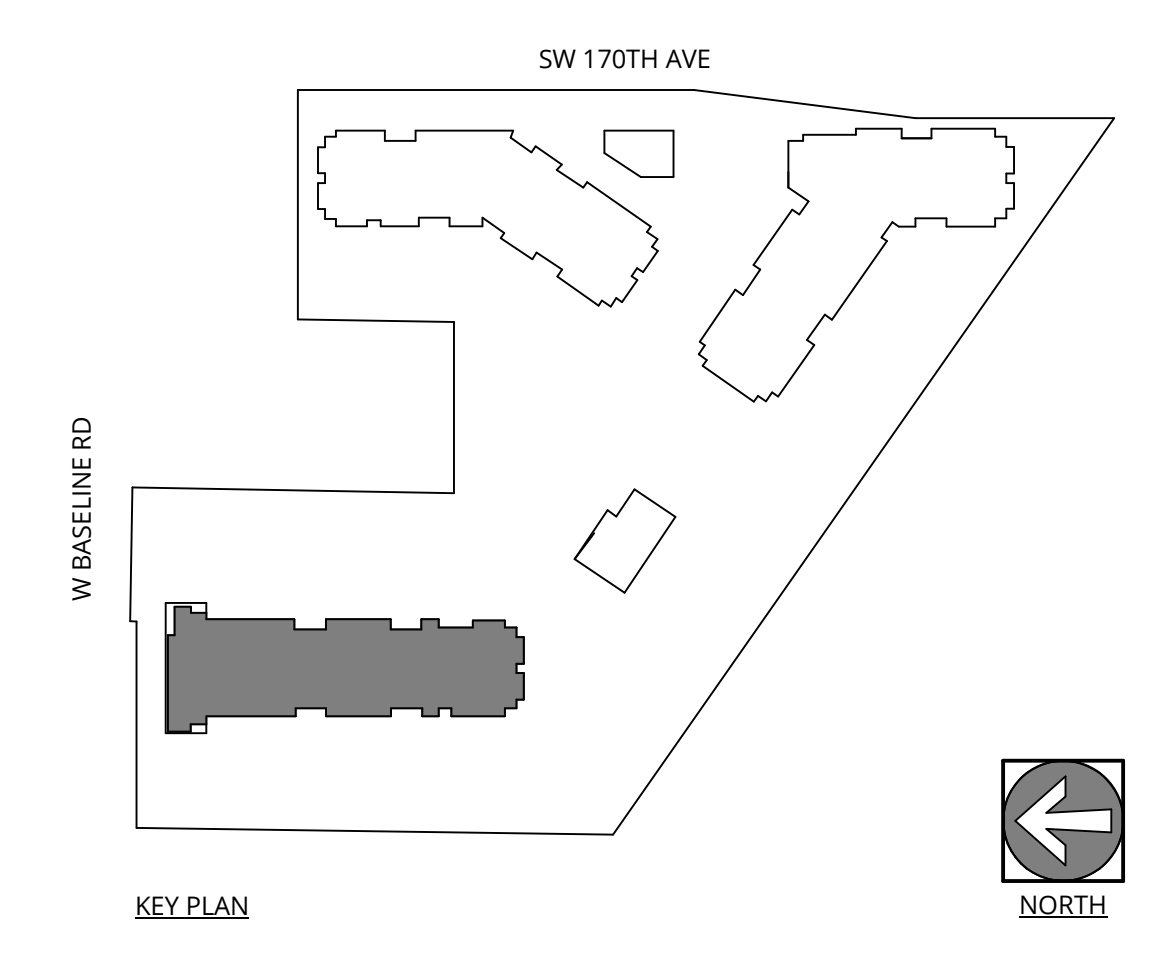
REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

LEVEL 4 FLOOR PLAN

LAND USE

DATE 5.25.2023	PROJECT NUMBER 215390
SHEET NUMBER	

A2.04-1



GENERAL NOTES - FLOOR PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
- SEE SHEET A0.41 FOR TYPICAL FRAMING AND ACoustICAL DETAILS.
- SEE FIRE/SAFE SHEETS BEGINNING ON 62.21 FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
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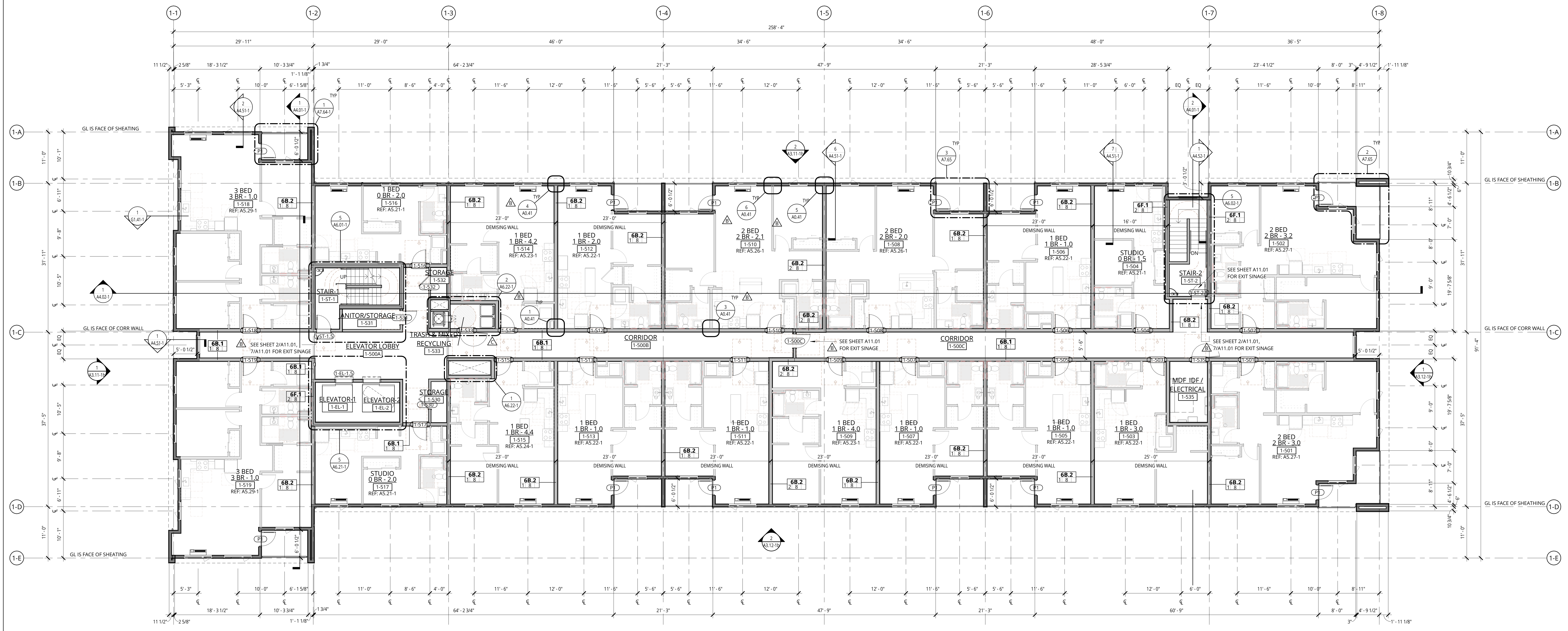


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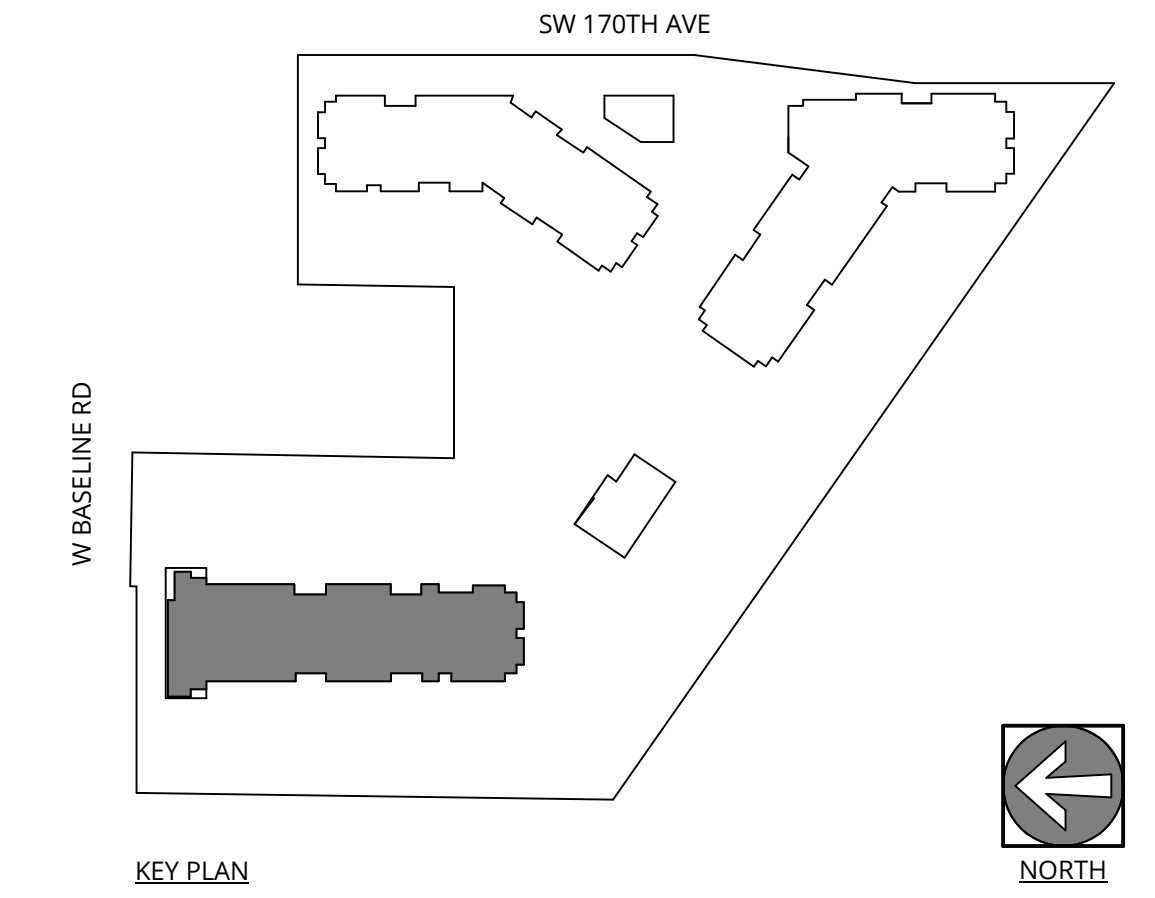
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1 BUILDING 1 - LEVEL 5 - PLAN
1/8" = 1'-0"



ELMONICA BUILDING 1
SW 170TH AND W BASELINE
REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

LEVEL 5 FLOOR PLAN

LAND USE

DATE	PROJECT NUMBER
5.25.2023	215390

SHEET NUMBER
A2.05-1

ROOF VENTING STRATEGY - BUILDING 1

PER 055C SECTION 1302.2.1 RATIO OF ATTIC AREA FOOTPRINT TO FREE VENTILATION AREA = 1/150. PER EXCEPTION IF BALANCED HIGH AND LOW VENTILATION IS PROVIDED, THE RATIO CAN BE REDUCED TO 1/300 WHEN 40%-50% IS PROVIDED IN THE UPPER PORTION WITH THE BALANCE OF THE VENTILATION PROVIDED BY LOW VENTS. HIGH AND LOW VENTILATION IS PROPOSED FOR THIS PROJECT.

REQUIRED	PROVIDED	
	VENT TYPE	TOTAL NET FREE AREA
BUILDING ATTIC ENCLOSED AREA (GSF)	17,424 SF	
	UPPER	LOWER
	18.44 SF	16.08 SF
TOTAL NET FREE AREA REQUIRED	58.08 SF	20.46 SF
AREA REQUIRED SF / 300, WITH MIN 50% LOW VENTING	23.23 SF UP AND 35.45 SF LOW	
	STATIC VENT	5.88 SF
	PROVIDED	24.32 SF
	PROVIDED	36.54 SF
*40% UP / 60% LOW USED TO DETERMINE REQUIRED	TOTAL NET FREE AREA PROVIDED	60.86 SF

CALCULATIONS

LINEAR LOW PROFILE VENTS LOCATED AT LOW AREA OF ROOF PROVIDE 9 SQ INCHES PER LINEAL FOOT = 0.0625 SQUARE FEET PER LINEAL FOOT WITH ALTERNATING BLOCKING AT EVERY OTHER TRUSS BAY. CALCULATION ASSUMES REDUCTION OF 50% OF NET FREE AREA = 0.03125 SF TOTAL PROVIDED = 512.0 FEET X 0.03125 = 16.00 SF NET FREE AREA PROVIDED

LINEAR RIDGE VENTS AT HIGH AREA OF THE ROOF PROVIDE 18 SQ INCHES PER LINEAL FOOT = 0.125 SQUARE FEET PER LINEAL FOOT WITH ALTERNATING BLOCKING AT RIDGE EVERY OTHER TRUSS BAY. CALCULATION ASSUMES REDUCTION 50% OF NET FREE AREA = 0.0625 SF TOTAL PROVIDED = 256 FEET X 0.0625 = 16.00 SF NET FREE AREA PROVIDED

STATIC VENT AT HIGH AREA OF THE ROOF PROVIDE 60 SQ INCHES PER VENT = 0.42 SQUARE FEET PER VENT TOTAL PROVIDED = 14 VENTS X 0.42 = 5.88 SF NET FREE AREA PROVIDED

GABLE END LOUVERS PROVIDE THE REMINDER FOR INTAKE VENTS. SEE ELEVATIONS TOTAL PROVIDED:
 (4.5' X 5') = 22.5 SF (AT 47% FREE AREA) = 10.58 SF X 1 AT SOUTH ELEVATION = 10.58 SF
 (3.5' X 3') = 10.5 SF (AT 47% FREE AREA) = 4.94 SF X 2 AT EAST AND WEST ELEVATIONS = 9.88 SF
 10.58 SF + 9.88 SF = 20.46 SF TOTAL NET FREE AREA PROVIDED

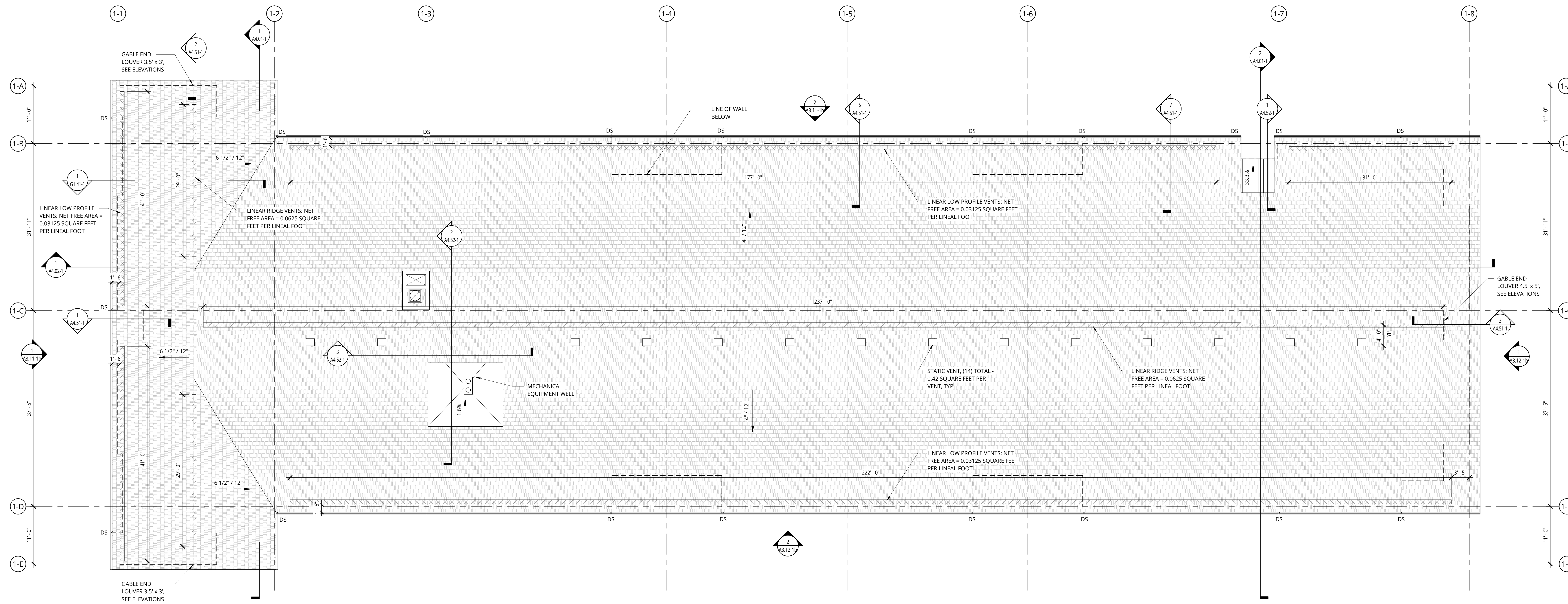
GENERAL NOTES - ROOF PLANS

- REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEET A0.01 FOR HORIZONTAL ASSEMBLIES.
- PROVIDE ROOFING MANUFACTURERS STANDARD WALKWAY PADS BETWEEN ALL ROOF HATCHES, ROOF ACCESS DOORS, AND ROOFTOP EQUIPMENT AND AROUND PERIMETER OF ALL ROOFTOP EQUIPMENT.
- PROVIDE POSITIVE ROOF SLOPE TO DRAIN AT MINIMUM SLOPE OF 1/4" PER FOOT MEASURED ALONG VALLEYS, UNLESS NOTED OTHERWISE.
- ROOF PENETRATIONS SHOWN ARE SCHEMATIC IN NATURE. COORDINATE ACTUAL SIZE, TYPE AND LOCATION OF EQUIPMENT, CURBS, AND ANY OTHER ROOF PENETRATIONS THAT MAY BE REQUIRED TO SUPPORT, SECURE OR FLASH ROOFTOP EQUIPMENT.
- VERIFY AND COORDINATE SLAB PENETRATIONS INCLUDING SLEEVES & BLOCKOUTS AS REQUIRED FOR PLUMBING, MECHANICAL, ELECTRICAL, ETC. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES.
- COMPLY WITH THE MOST STRINGENT OF SMACNA, NRCA OR MANUFACTURERS' REQUIREMENTS FOR FLASHINGS, COPINGS AND OTHER SHEET METAL CONSTRUCTION.
- VERIFY ROOFING MANUFACTURERS MINIMUM REQUIREMENTS FOR LAPPING OF ALL MATERIALS. BRING CONFLICTS WITH ARCHITECTURAL DETAILS TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
- REFER TO DETAILS FOR TOP OF PARAPET DATUMS.
- SEE MEP AND LANDSCAPE DRAWINGS FOR ROOFTOP FURNISHINGS, EQUIPMENT AND PENETRATIONS.

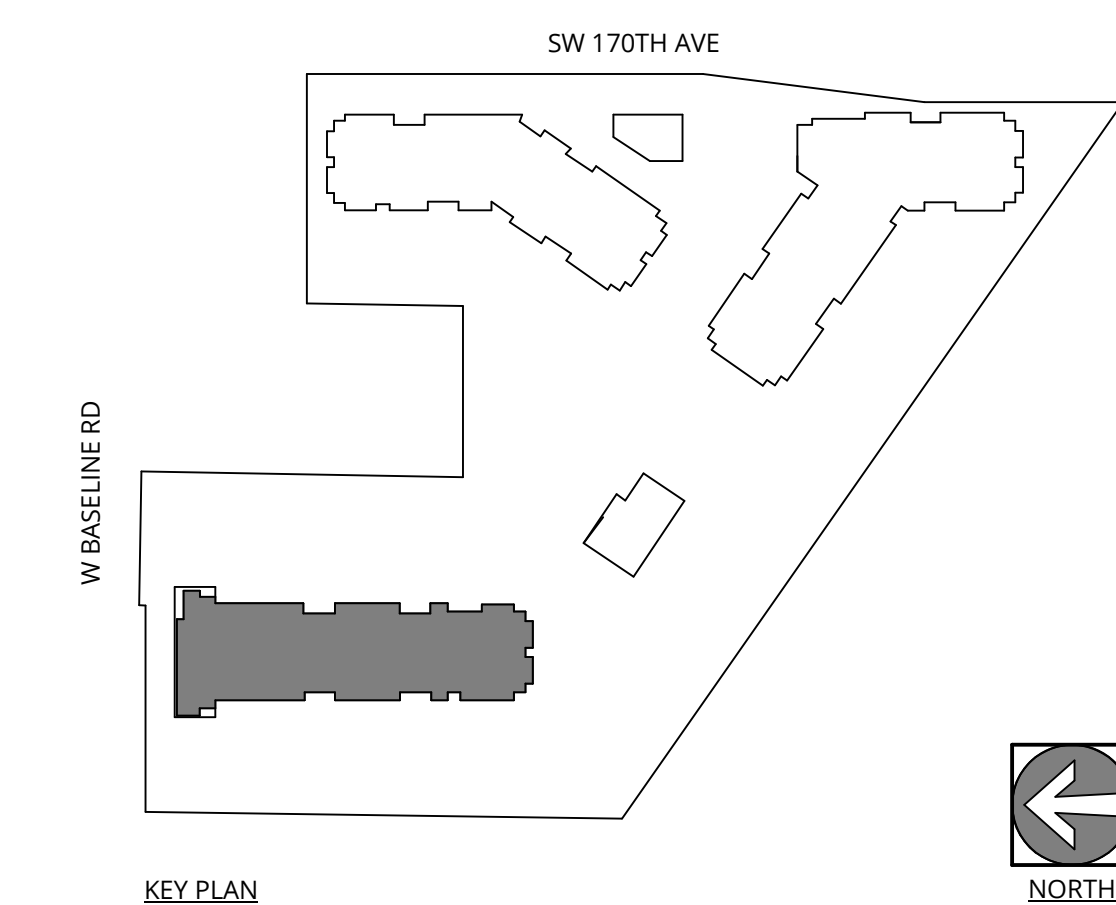
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1 BUILDING 1 - ROOF - PLAN
 1/8" = 1'-0"



ELMONICA BUILDING 1
 SW 170TH AND W BASELINE

REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

ROOF PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
 SHEET NUMBER:

A2.07-1

GENERAL NOTES - EXTERIOR ELEVATIONS

1. REFER TO SHEET **A3.01** FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL (OR PROJECT DATUM).
3. SEE DOOR SCHEDULE SHEET A12.01 FOR DOOR LOCATIONS AND TYPES.
4. SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
5. REFER TO **A3.11** FOR EXTERIOR WALL TYPES.
6. SEE SHEET **A12.21** FOR WINDOW AND LOUVER INFORMATION.
7. ALL FENESTRATION (STOREFRONT AND WINDOW WALLS) SHALL BE MFC CERTIFIED. PROVIDE LABEL CERTIFICATES TO THE ON-SITE CITY INSPECTOR AT THE PROJECT SITE PRIOR TO INSTALLATION.
8. AHJ DESIGN REVIEW AND APPROVAL DOES NOT SUPERSEDE THE SIGN CODE. OBTAIN SEPARATE SIGN PERMIT PRIOR TO INSTALLATION OF EXTERIOR BUILDING SIGNAGE.
9. DOORS INTO ELECTRICAL CONTROL PANEL ROOMS SHALL BE MARKED WITH A PLAINLY VISIBLE AND LEGIBLE SIGN STATE "ELECTRICAL ROOM" OR APPROVED WORDING.

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KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
B.115.04	METAL RAILING
B.212.1	FIBER CEMENT LAP SIDING (STAINED)
B.212.4	FIBER CEMENT PANEL SIDING (PAINTED)
B.212.6	FIBER CEMENT SHAKE SIDING (STAINED)
B.212.7	FIBER CEMENT SHAKE SIDING (PAINTED)
B.212.8	FIBER CEMENT TRANSITION TRIM BAND, SEE DETAIL (A7.41) (PAINTED)
B.212.9	SYNTHETIC TRIM B, SEE DETAIL (A7.31) (PAINTED)
B.221	VINYL WINDOWS
B.225	ALUMINUM FRAMED STOREFRONTS
B.241	PTHP LOUVER (CUSTOM)
B.314.2	FIBERGLASS REINFORCED SHINGLES ROOFING
B.316	METAL ROOFING - STANDING SEAM
B.410	PRE-FINISHED METAL GUTTER
B.411	PRE-FINISHED METAL DOWNSPOUT
B.412	BUILDING SIGNAGE (MONUMENT BACKLIT CABINET KNOX-STEM MOUNTED LETTERS)
B.413	WOOD FRAMED BALCONY WITH DECORATIVE SLAT SOFFIT (PAINTED), REFER TO ASSEMBLY 6P ON SHEET A0.31

EXTERIOR MATERIAL LEGEND

- FC SHAKE SIDING - PAINTED WALL ASSEMBLY L6.1, L6.2
- FC SHAKE SIDING - STAINED WALL ASSEMBLY L6.1, L6.2
- FC LAP SIDING - STAINED WALL ASSEMBLY K6.1, K6.2
- FC PANEL - STAINED WALL ASSEMBLY J6.1, J6.2, J6.3
- FC PANEL - PAINTED WALL ASSEMBLY J6.1, J6.2, J6.3



1 BUILDING 1 - NORTH
1/8" = 1'-0"



2 BUILDING 1 - EAST
1/8" = 1'-0"

ELMONICA BUILDING 1
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

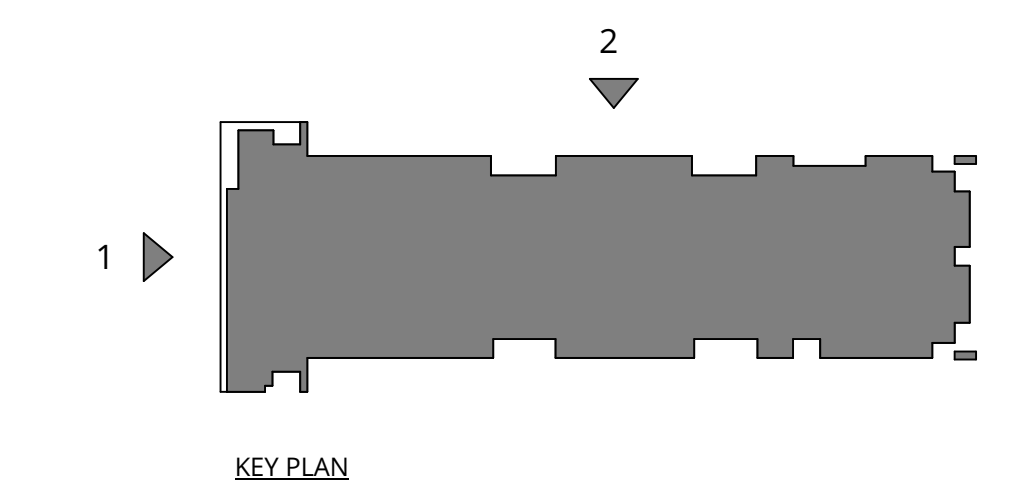
REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2
C1	5/25/2023	Land Use Revision 3

BUILDING ELEVATIONS - PERMIT

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A3.11-1





1 BUILDING 1 - SOUTH
1/8" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

1. REFER TO SHEET **A4.01** FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL (OR PROJECT DATUM).
3. SEE DOOR SCHEDULE SHEET A12.01 FOR DOOR LOCATIONS AND TYPES.
4. SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
5. REFER TO **A4.11** FOR EXTERIOR WALL TYPES.
6. SEE SHEET **A12.21** FOR WINDOW AND LOUVER INFORMATION.
7. ALL FENESTRATION (STOREFRONT AND WINDOW WALLS) SHALL BE MFC CERTIFIED. PROVIDE LABEL CERTIFICATES TO THE ON-SITE CITY INSPECTOR AT THE PROJECT SITE PRIOR TO INSTALLATION.
8. AHJ DESIGN REVIEW AND APPROVAL DOES NOT SUPERSEDE THE SIGN CODE. OBTAIN SEPARATE SIGN PERMIT PRIOR TO INSTALLATION OF EXTERIOR BUILDING SIGNAGE.
9. DOORS INTO ELECTRICAL CONTROL PANEL ROOMS SHALL BE MARKED WITH A PLAINLY VISIBLE AND LEGIBLE SIGN STATE "ELECTRICAL ROOM" OR APPROVED WORDING.

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
B.115.04	METAL RAILING
B.212.1	FIBER CEMENT LAP SIDING (STAINED)
B.212.6	FIBER CEMENT SHAKE SIDING (STAINED)
B.212.8	FIBER CEMENT TRANSITION TRIM BAND, SEE DETAIL 6/A7.41 (PAINTED)
B.212.9	SYNTHETIC TRIM B, SEE DETAIL 8/A7.31 (PAINTED)
B.225	ALUMINUM FRAMED STOREFRONTS
B.242	ARCHITECTURAL LOUVER
B.314.2	FIBERGLASS REINFORCED SHINGLES ROOFING
B.411	PRE-FINISHED METAL DOWNSPOUT
B.413	WOOD FRAMED BALCONY WITH DECORATIVE SLAT SQUIFF (PAINTED), REFER TO ASSEMBLY GP ON SHEET A0.31

EXTERIOR MATERIAL LEGEND

- FC SHAKE SIDING-PAINTED WALL ASSEMBLY L6.1, L6.2
- FC SHAKE SIDING - STAINED WALL ASSEMBLY L6.1, L6.2
- FC LAP SIDING - STAINED WALL ASSEMBLY K6.1, K6.2
- FC PANEL - STAINED WALL ASSEMBLY J6.1, J6.2, J6.3
- FC PANEL - PAINTED WALL ASSEMBLY J6.1, J6.2, J6.3



2 BUILDING 1 WEST
1/8" = 1'-0"

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ELMONICA BUILDING 1

SW 170TH AND W BASELINE

REMBOLD PROPERTIES

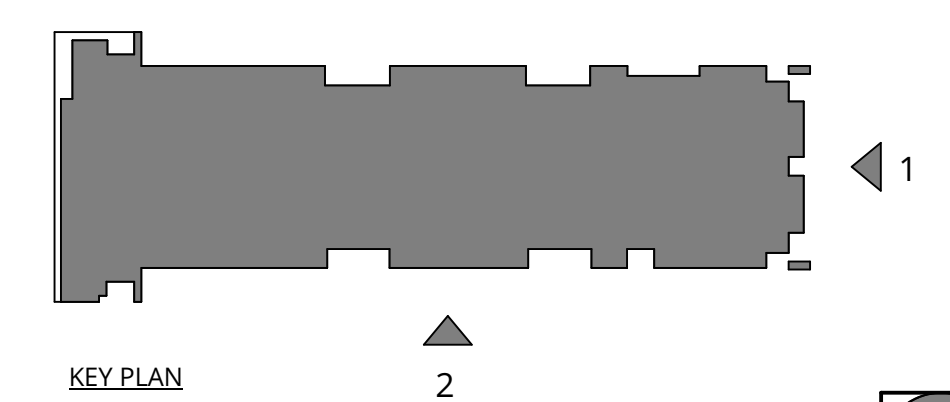
REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C1	5/25/2023	Land Use Revision 3

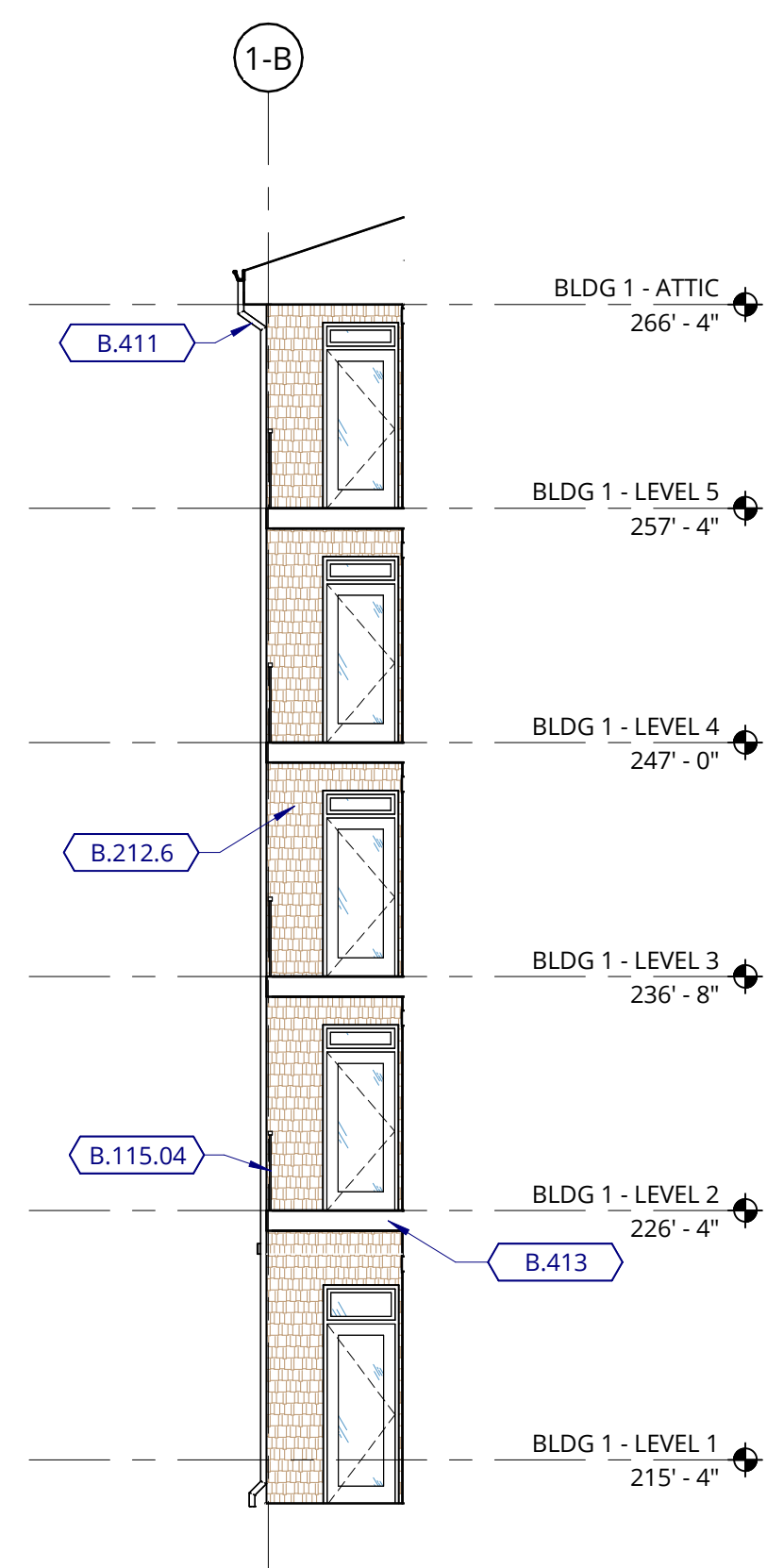
BUILDING ELEVATIONS - PERMIT

LAND USE

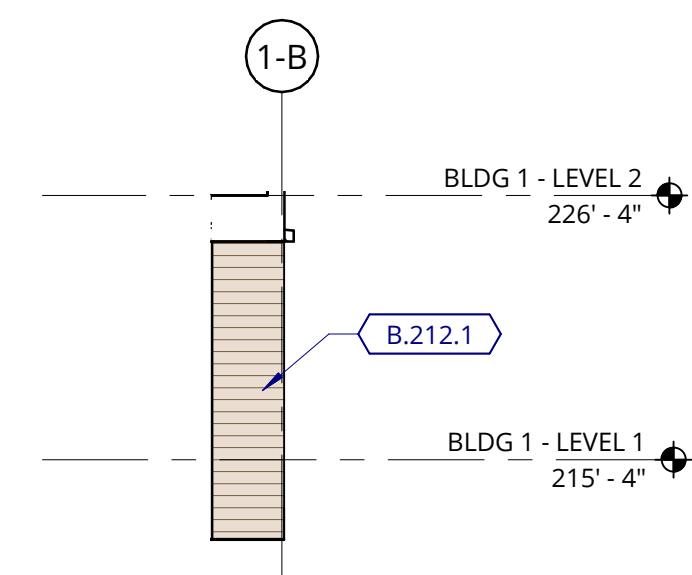
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SHEET NUMBER:

A3.12-1

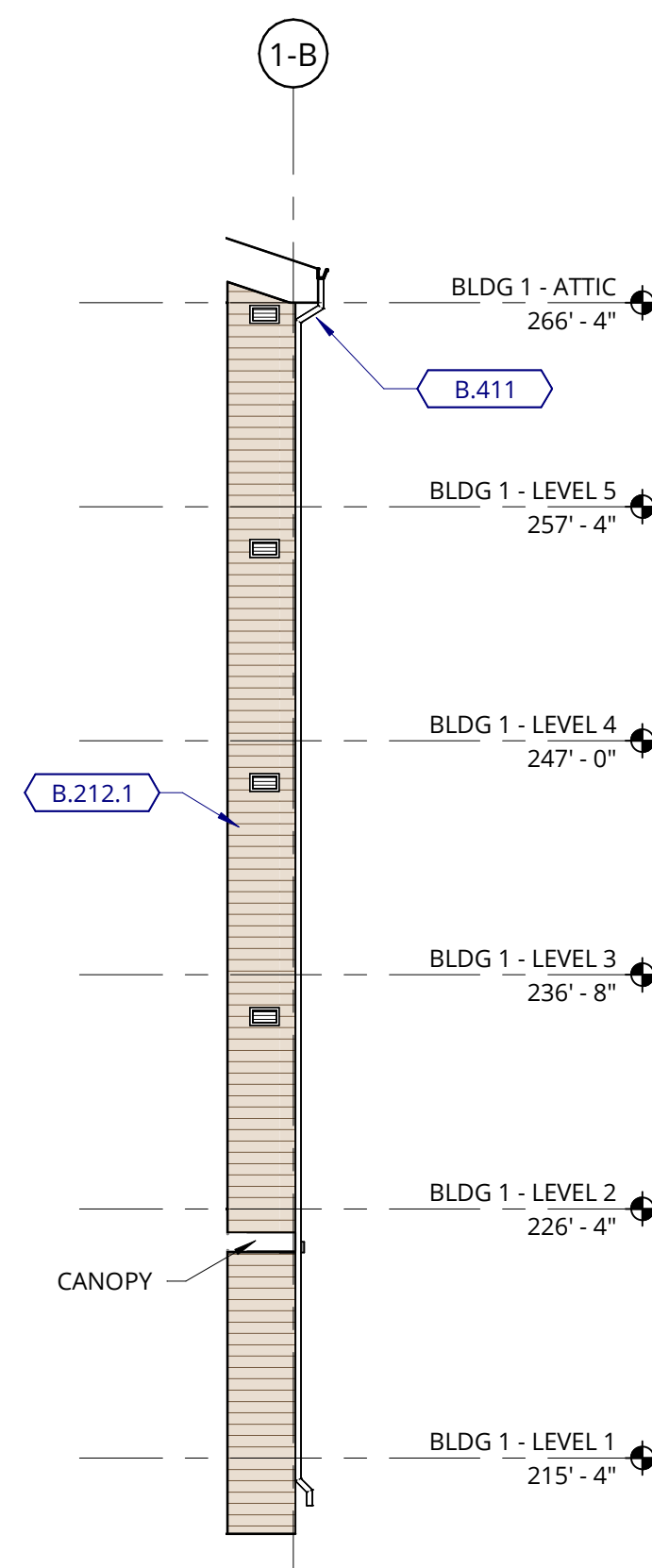




1 BUILDING 1 - TYPICAL DECK 2 SIDE WALL
1/8" = 1'-0"



2 BUILDING 1 - TYPICAL SIDE WALL 8
1/8" = 1'-0"



3 BUILDING 1 - TYPICAL SIDE WALL 9
1/8" = 1'-0"

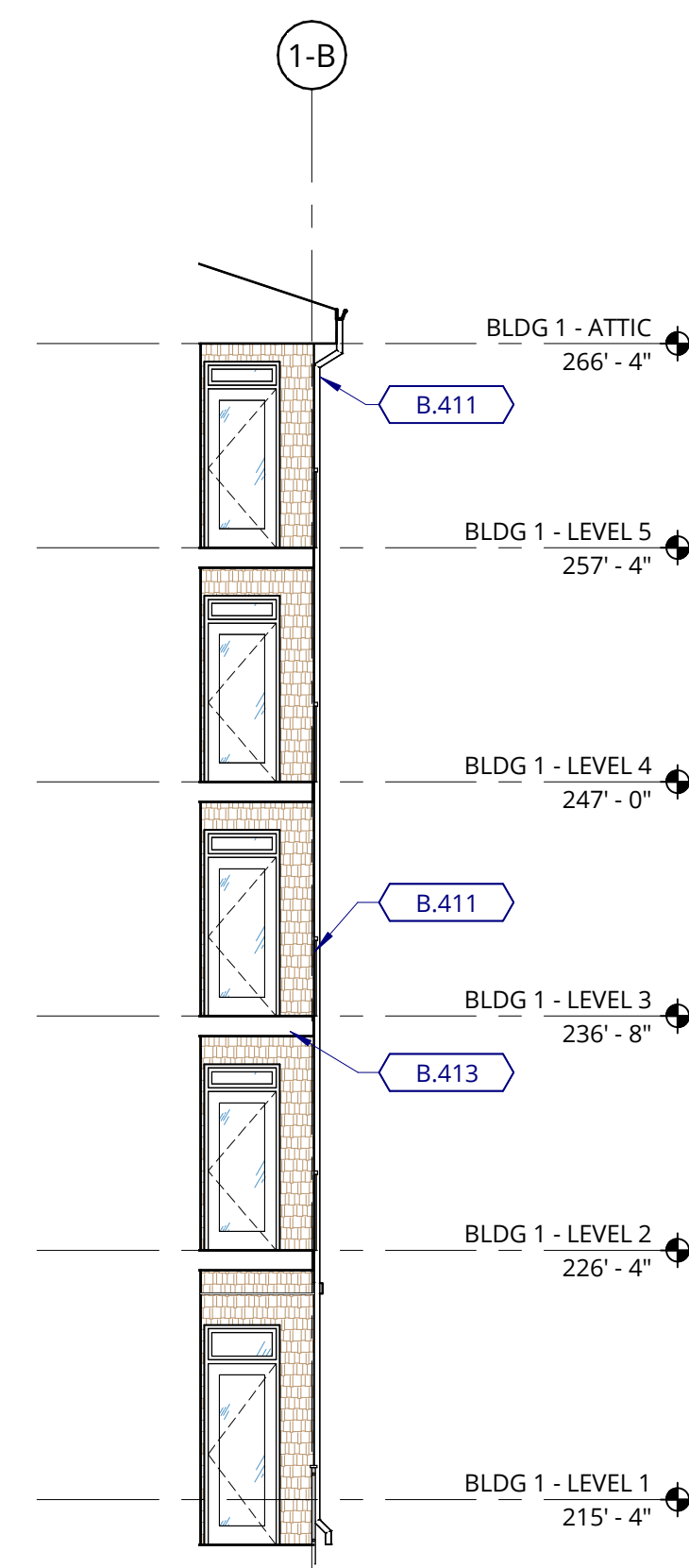
GENERAL NOTES - EXTERIOR ELEVATIONS

- REFER TO SHEET **A3.01** FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
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- SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
- REFER TO **A3.11** FOR EXTERIOR WALL TYPES.
- SEE SHEET **A12.21** FOR WINDOW AND LOUVER INFORMATION.
- ALL FENESTRATION (STOREFRONT AND WINDOW WALLS) SHALL BE MFC CERTIFIED. PROVIDE LABEL CERTIFICATES TO THE ON-SITE CITY INSPECTOR AT THE PROJECT SITE PRIOR TO INSTALLATION.
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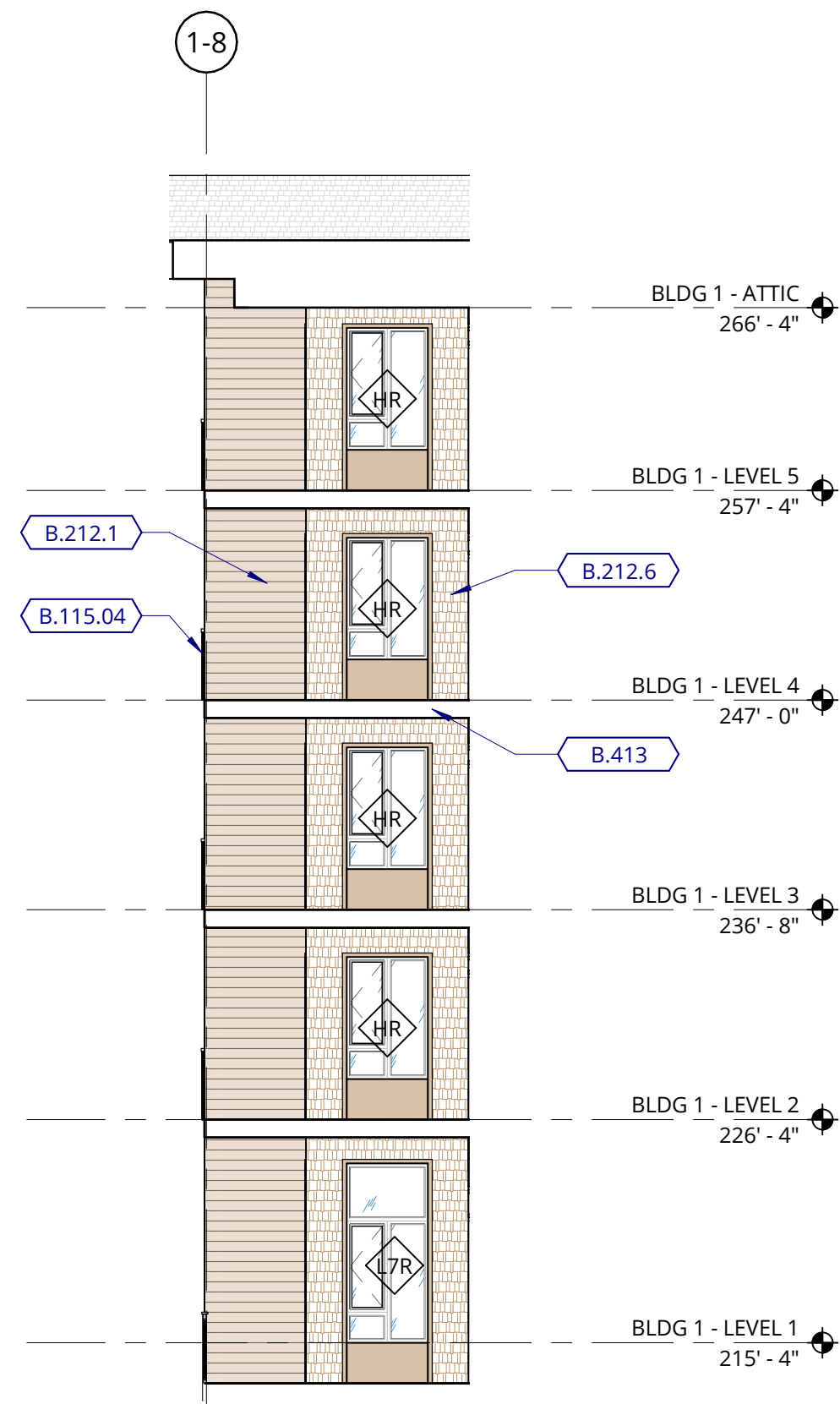
KEY VALUE	KEYNOTE TEXT
B.115.04	METAL RAILING
B.212.1	FIBER CEMENT LAP SIDING (STAINED)
B.212.6	FIBER CEMENT SHAKE SIDING (STAINED)
B.411	PRE-FINISHED METAL DOWNSPOUT
B.413	WOOD FRAMED BALCONY WITH DECORATIVE SLAT SOFFIT (PAINTED), REFER TO ASSEMBLY 6P ON SHEET A0.31

EXTERIOR MATERIAL LEGEND

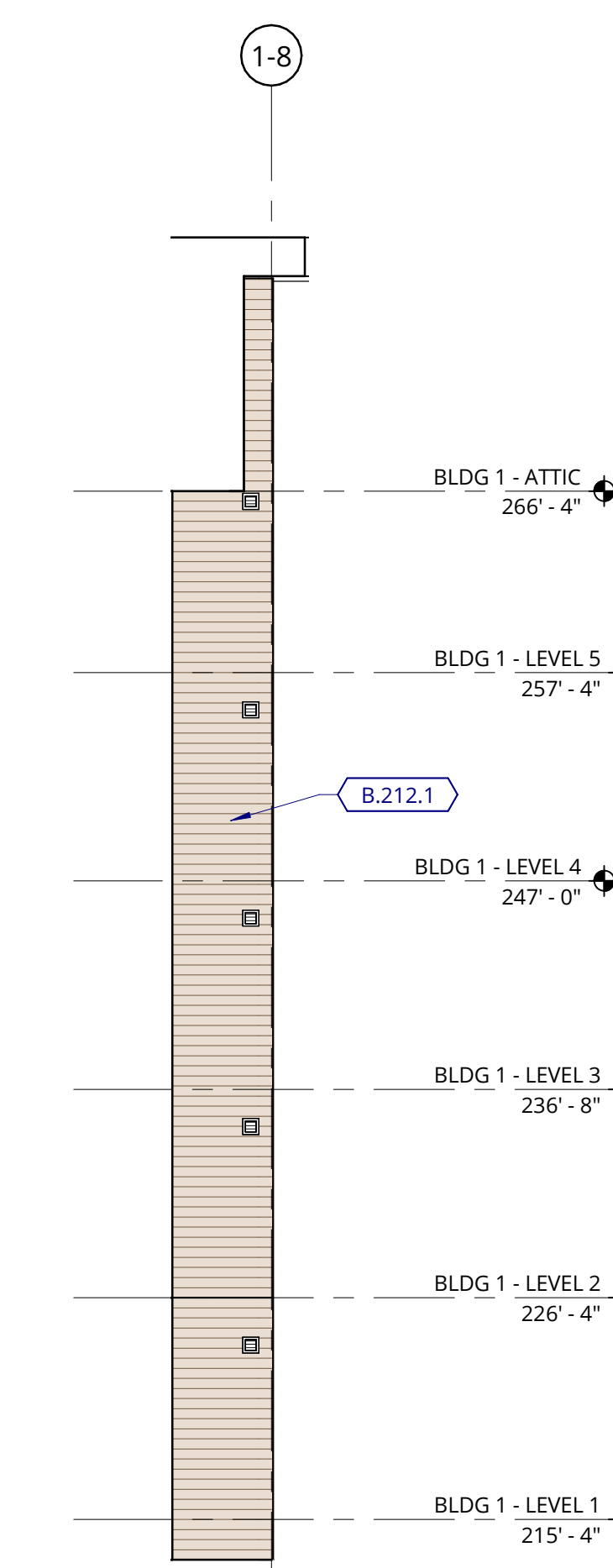
- FC SHAKE SIDING-PAINTED WALL ASSEMBLY L6.1, L6.2
- FC SHAKE SIDING - STAINED WALL ASSEMBLY L6.1, L6.2
- FC LAP SIDING - STAINED WALL ASSEMBLY K6.1, K6.2
- FC PANEL - STAINED WALL ASSEMBLY J6.1, J6.2, J6.3
- FC PANEL - PAINTED WALL ASSEMBLY J6.1, J6.2, J6.3



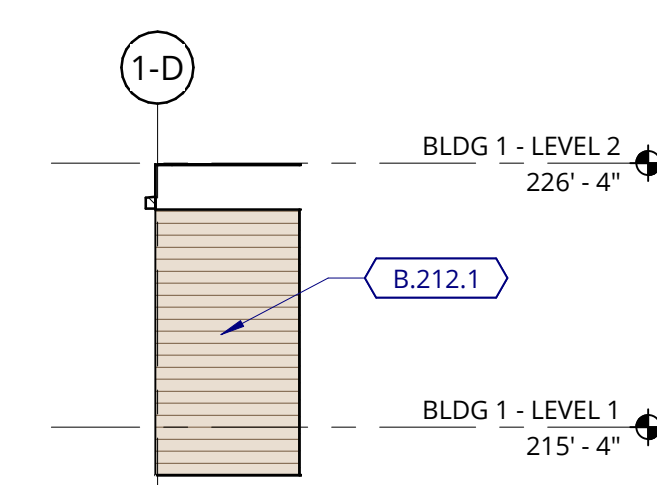
4 BUILDING 1 - TYPICAL CORNER DECK 1 SIDE WALL
1/8" = 1'-0"



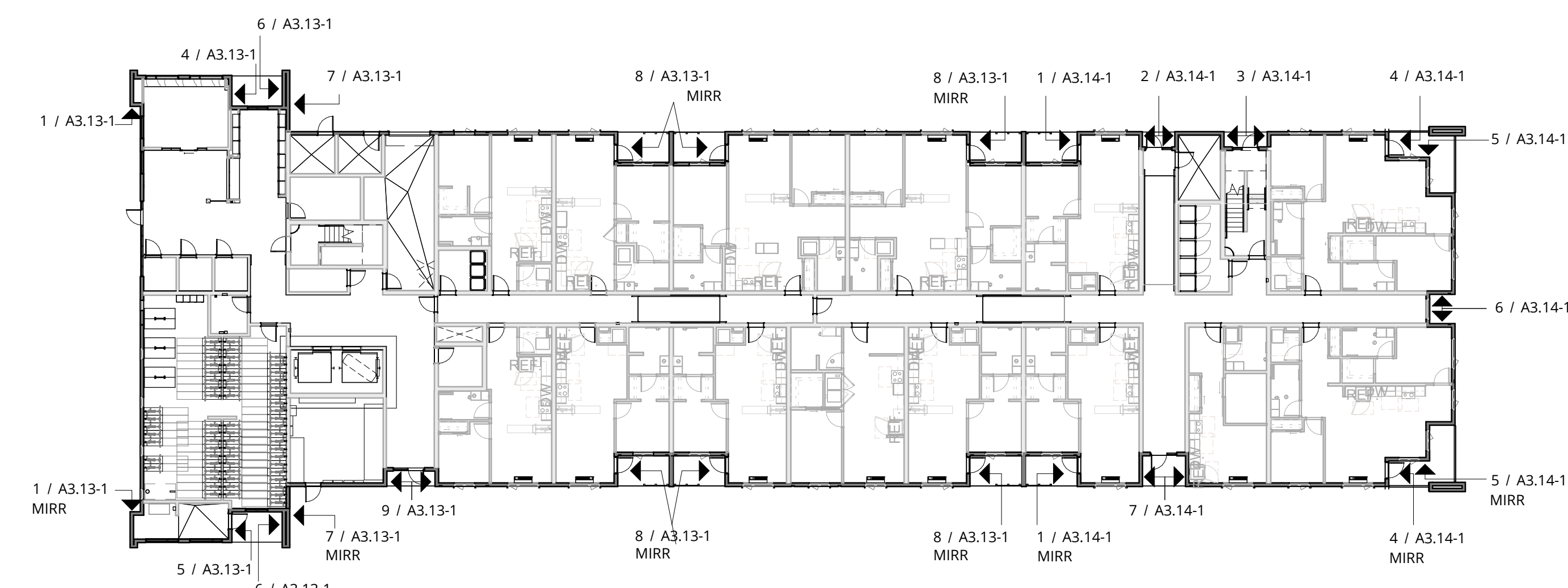
5 BUILDING 1 - TYPICAL CORNER DECK 2 SIDE WALL
1/8" = 1'-0"



6 BUILDING 1 - TYPICAL SIDE WALL 10
1/8" = 1'-0"



7 BUILDING 1 - TYPICAL SIDE WALL 11
1/8" = 1'-0"



BUILDING 1 - KEY PLAN

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ELMONICA BUILDING 1
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1

BUILDING ELEVATIONS

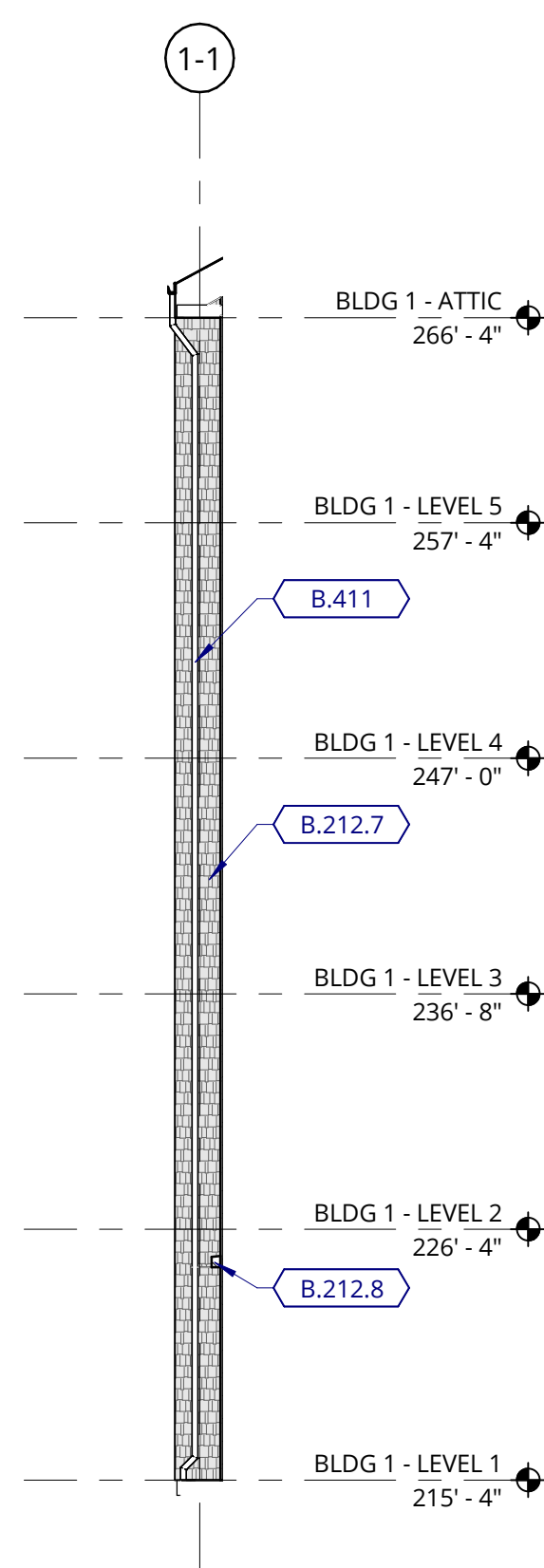
LAND USE

DATE	PROJECT NUMBER
5.25.2023	215390

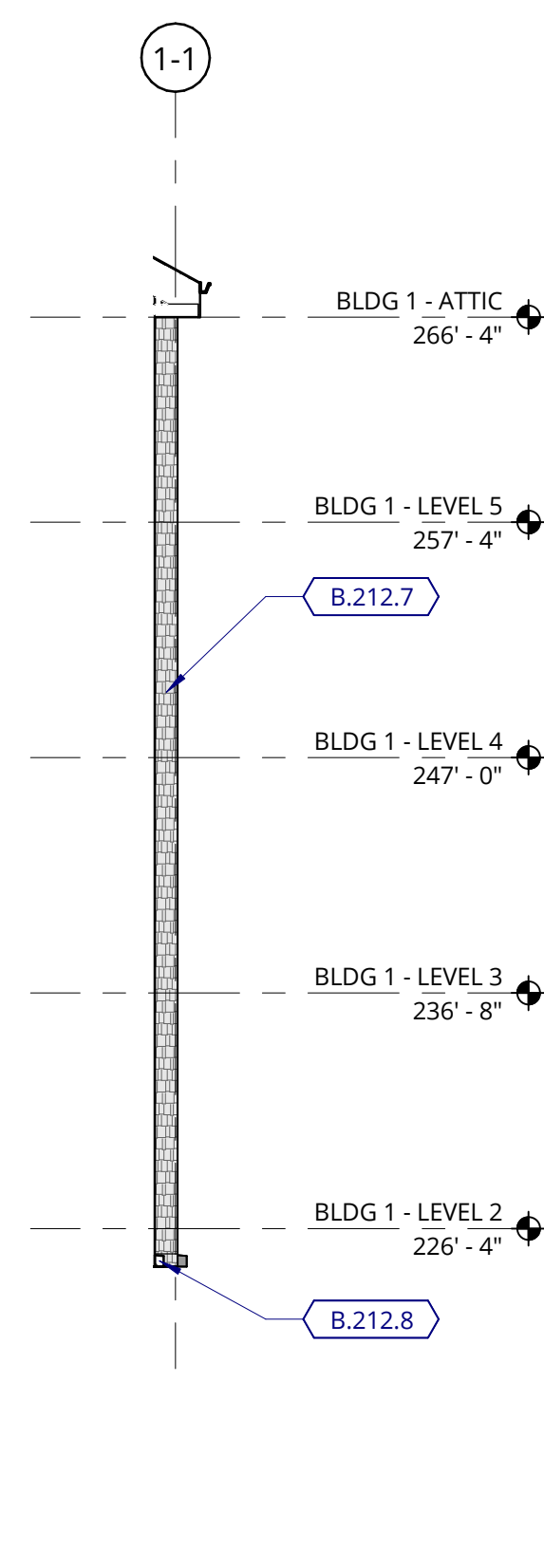
SHEET NUMBER

A3.14-1

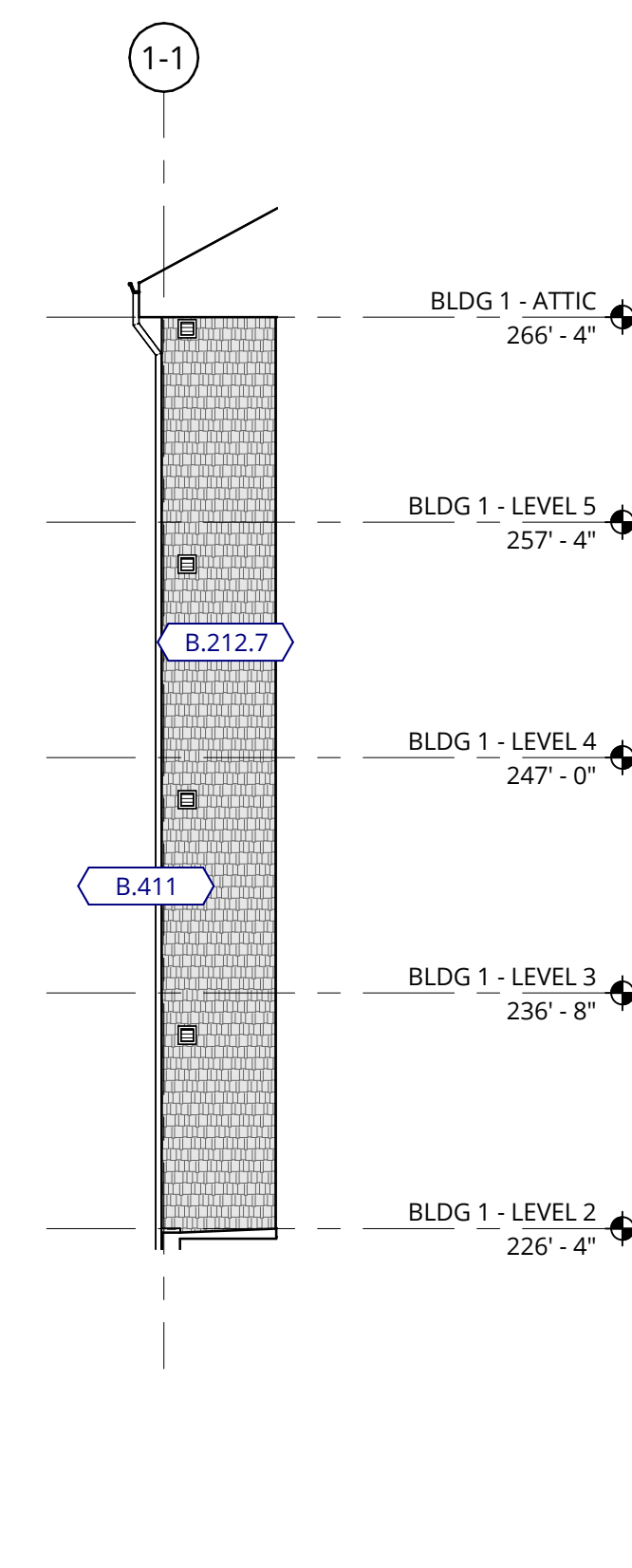




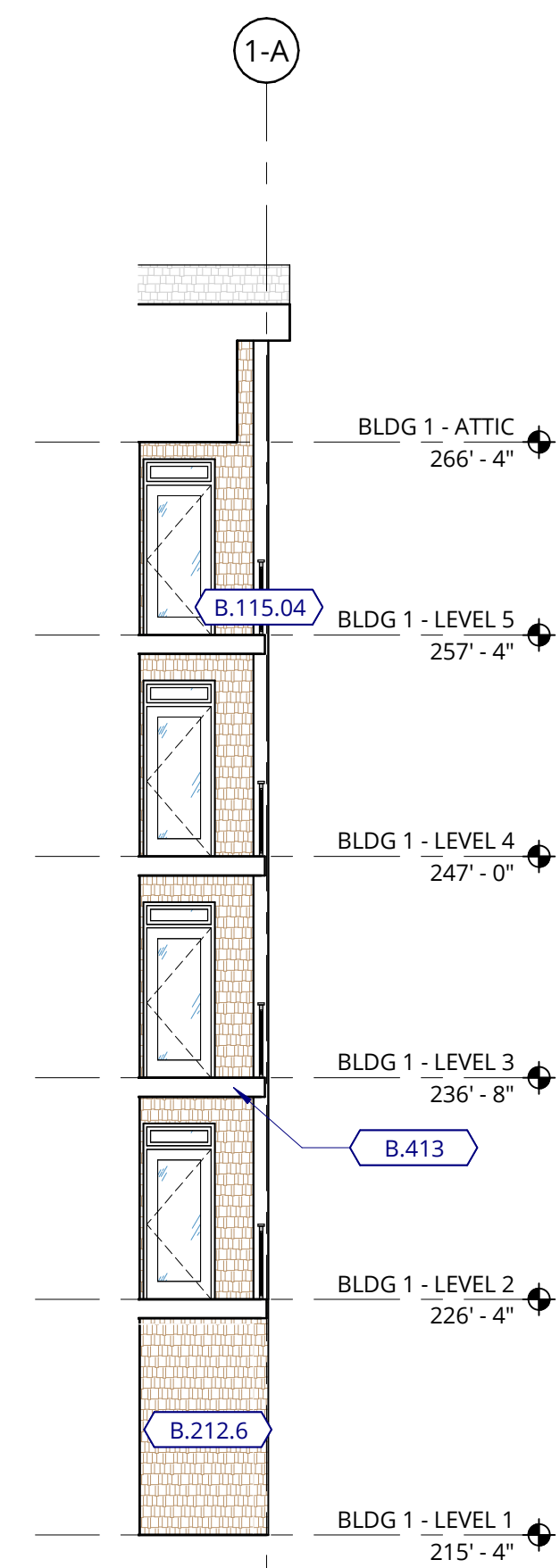
1 BUILDING 1 - TYPICAL SIDE WALL 1
1/8" = 1'-0"



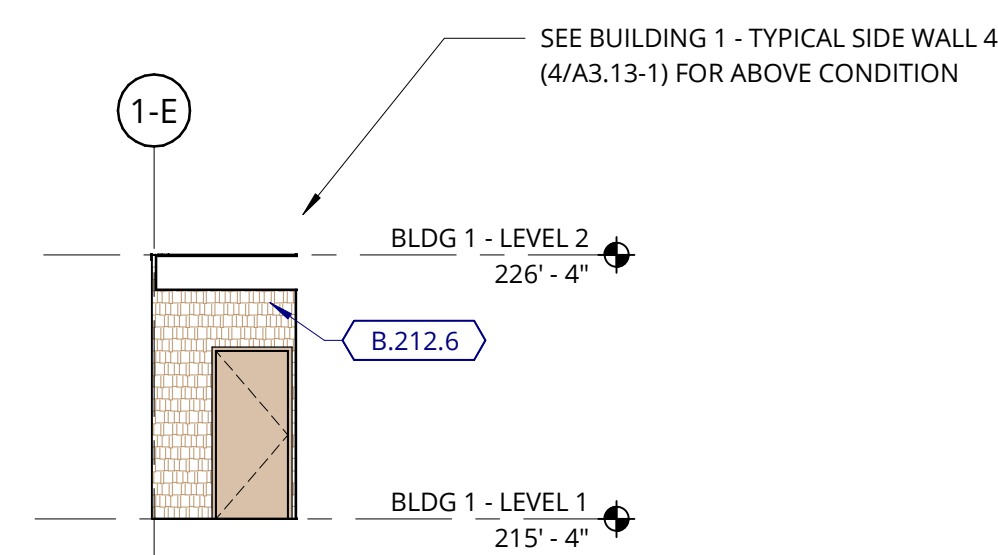
2 BUILDING 1 - TYPICAL SIDE WALL 2
1/8" = 1'-0"



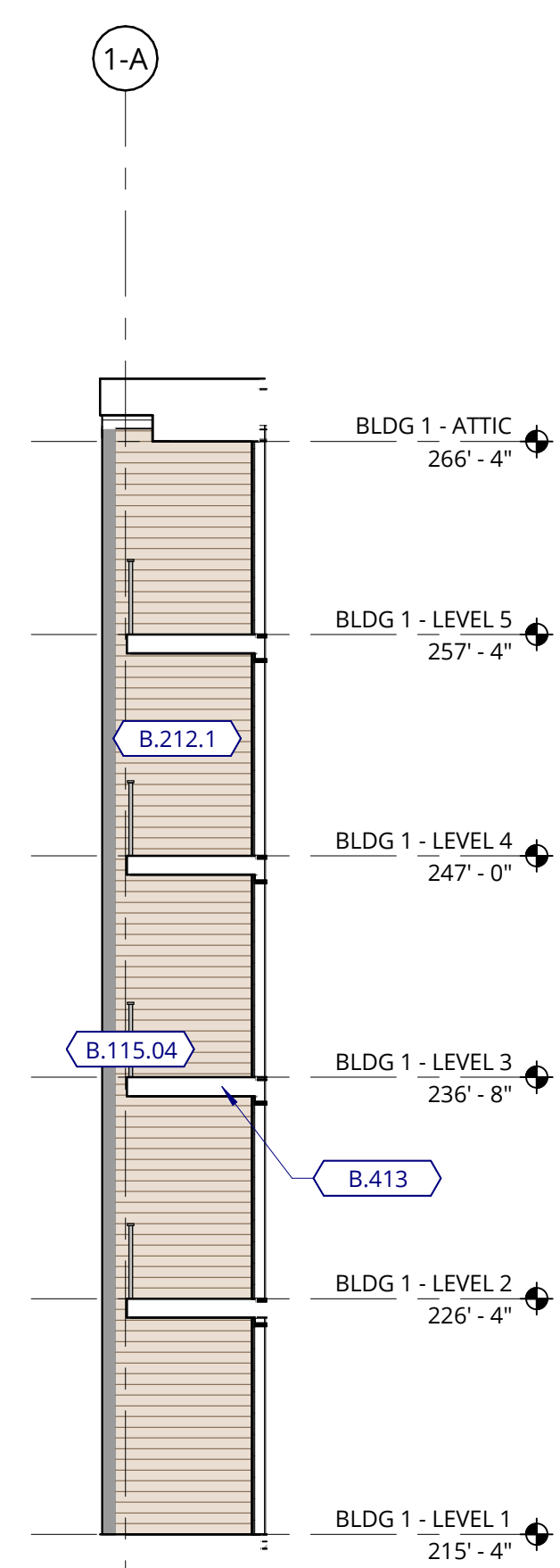
3 BUILDING 1 - TYPICAL SIDE WALL 3
1/8" = 1'-0"



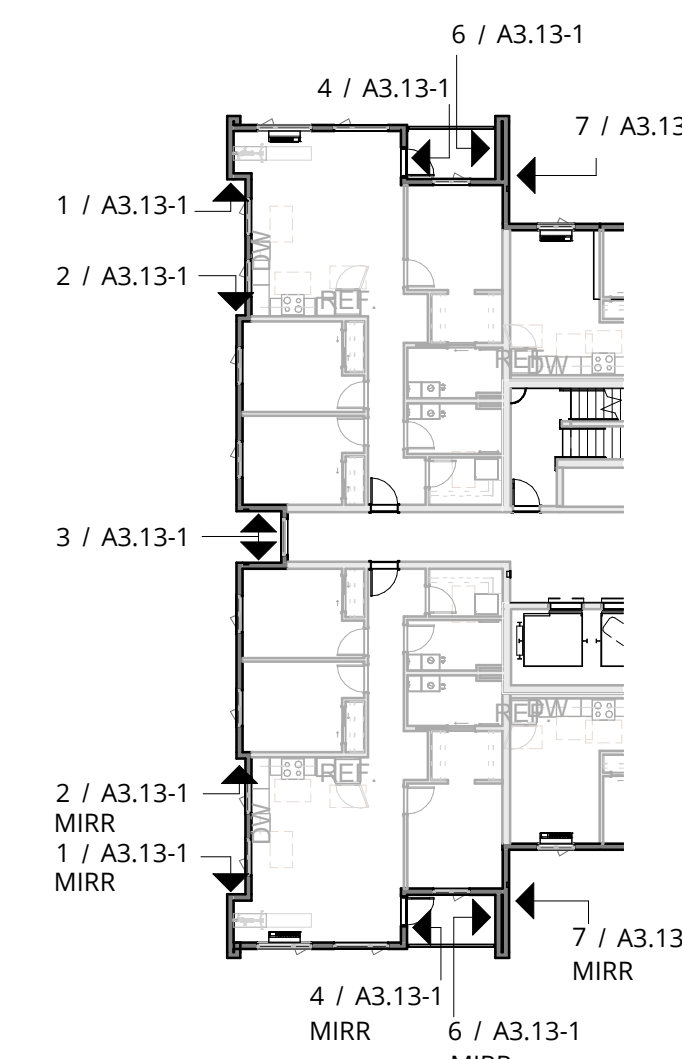
4 BUILDING 1 - TYPICAL SIDE WALL 4
1/8" = 1'-0"



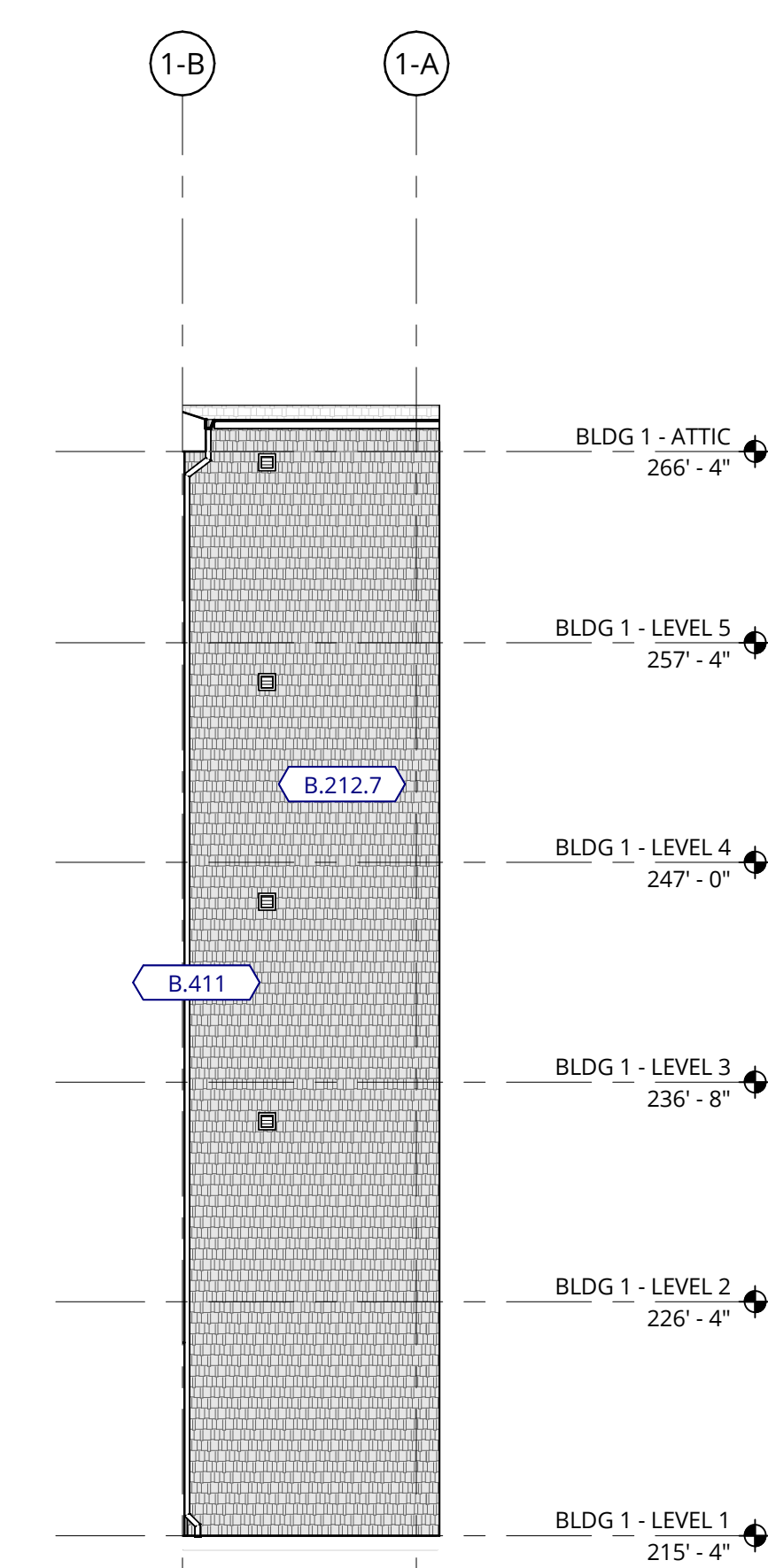
5 BUILDING 1 - DOG/ALL WASH ENTRY SIDE WALL
1/8" = 1'-0"



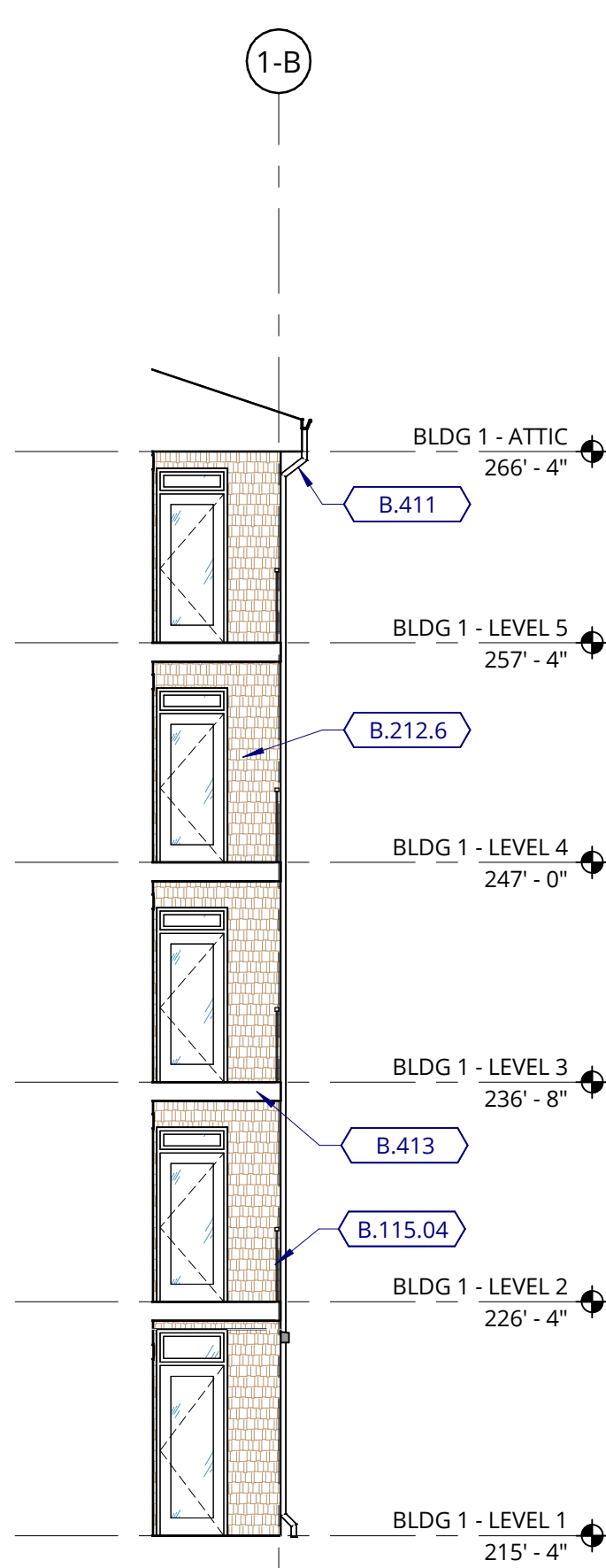
6 BUILDING 1 - TYPICAL SIDE WALL 5
1/8" = 1'-0"



BUILDING 1- KEY PLAN - LEVELS 2-5



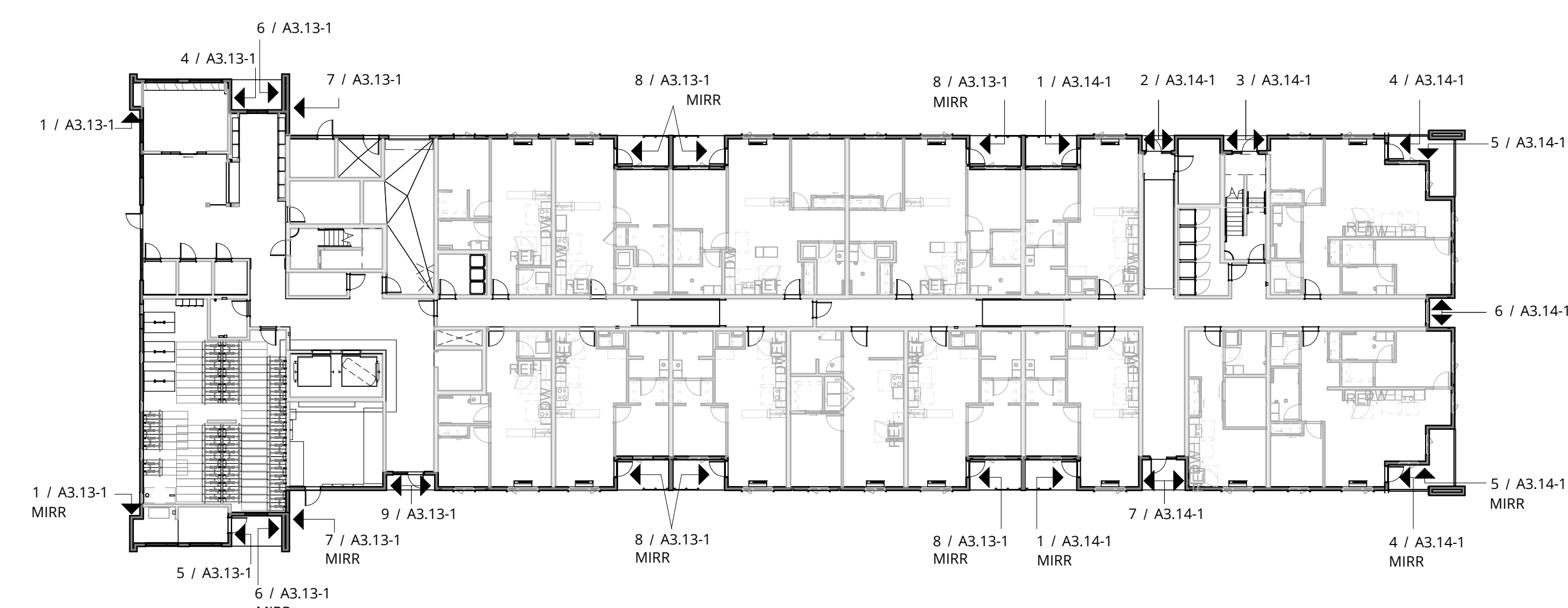
7 BUILDING 1 - TYPICAL SIDE WALL 6
1/8" = 1'-0"



8 BUILDING 1 - TYPICAL DECK 1 SIDE WALL
1/8" = 1'-0"



9 BUILDING 1 - TYPICAL SIDE WALL 7
1/8" = 1'-0"



BUILDING 1- KEY PLAN

GENERAL NOTES - EXTERIOR ELEVATIONS

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- SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
- REFER TO A3.11 FOR EXTERIOR WALL TYPES.
- SEE SHEET A12.21 FOR WINDOW AND LOUVER INFORMATION.
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KEY VALUE	KEYNOTE TEXT
B.115.04	METAL RAILING
B.212.1	FIBER CEMENT LAP SIDING (STAINED)
B.212.6	FIBER CEMENT SHAKE SIDING (STAINED)
B.212.7	FIBER CEMENT SHAKE SIDING (PAINTED)
B.212.8	FIBER CEMENT TRANSITION TRIM BAND, SEE DETAIL 6/A7.41(PAINTED)
B.411	PRE-FINISHED METAL DOWNSPOUT
B.413	WOOD FRAMED BALCONY WITH DECORATIVE SLAT SOFFIT (PAINTED), REFER TO ASSEMBLY 6P ON SHEET A0.31

EXTERIOR MATERIAL LEGEND

- FC SHAKE SIDING-PAINTED WALL ASSEMBLY L6.1, L6.2
- FC SHAKE SIDING - STAINED WALL ASSEMBLY L6.1, L6.2
- FC LAP SIDING - STAINED WALL ASSEMBLY K6.1, K6.2
- FC PANEL - STAINED WALL ASSEMBLY J6.1, J6.2, J6.3
- FC PANEL - PAINTED WALL ASSEMBLY J6.1, J6.2, J6.3

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ELMONICA BUILDING 1
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1

BUILDING ELEVATIONS

LAND USE

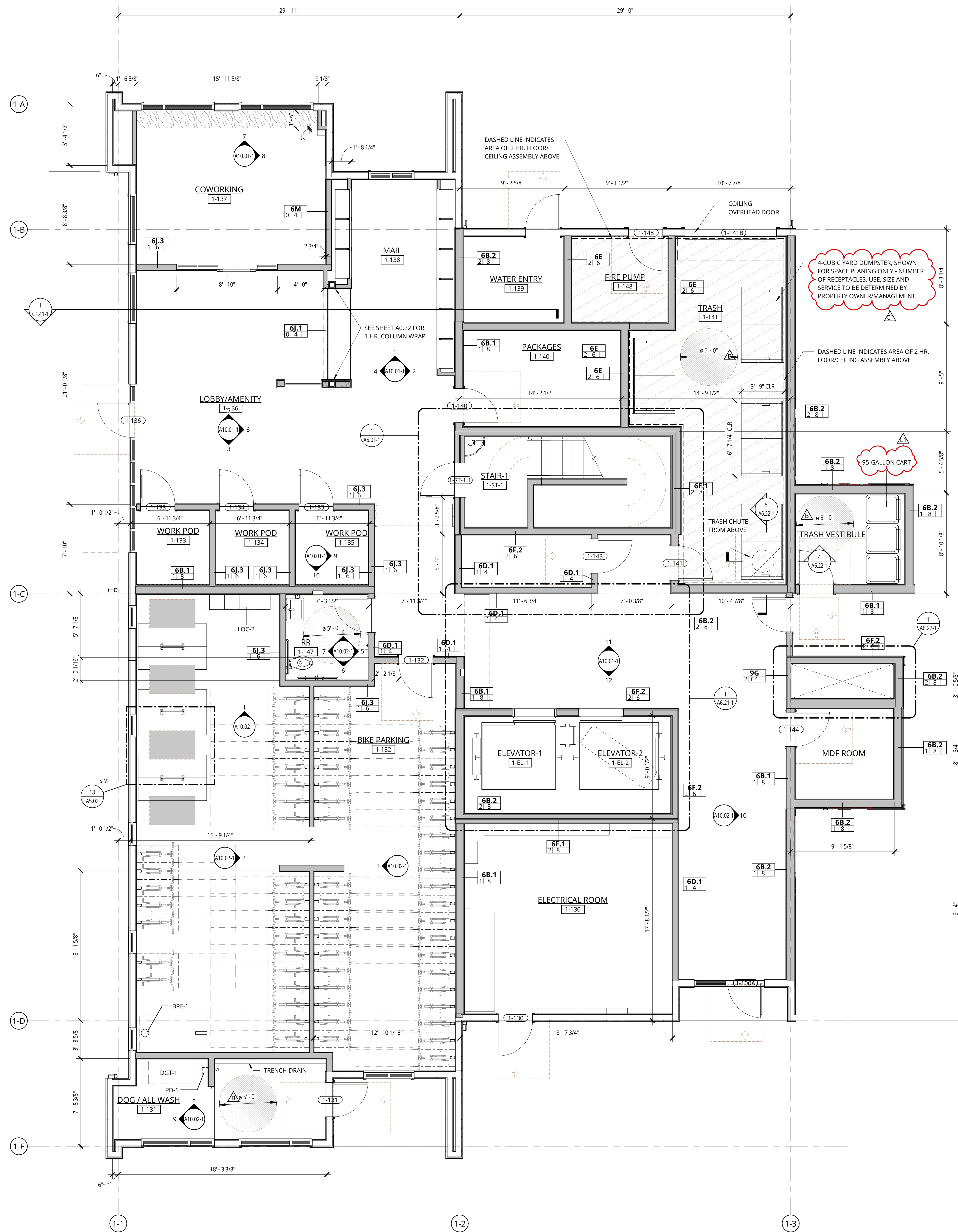
DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A3.13-1



GENERAL NOTES - ENLARGED PLANS

1. REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. SEE SLAB PLANS FOR CONCRETE AND MASONRY WALL LOCATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.
3. SEE SHEETS **A0.21** AND **A0.31** FOR WALL ASSEMBLY INFORMATION.
4. SEE SHEETS BEGINNING ON A5.01 FOR TYPICAL ACCESSIBILITY CLEARANCES.
5. PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING A5.01.
6. DWELLING UNITS ARE TYPE B UNLESS NOTED OTHERWISE. PROVIDE REINFORCEMENT IN WALLS FOR FUTURE GRAB BAR INSTALLATION AT ALL WATER CLOSETS AND BATHTUB/SHOWERS IN ALL RESIDENTIAL UNITS. SEE SHEETS **A5.05** AND **A5.06**.
7. TYPE A UNIT CLOSETS:
 - A. BEDROOM CLOSETS: PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 36" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF FOR ONE-THIRD OF THE CLOSET WIDTH, MOUNTED AT 72" AFF.
 - B. ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FOR ONE HALF OF THE CLOSET WIDTH AND ONE AT 36" AFF FOR THE REMAINING HALF.
8. TYPE B UNIT BEDROOM CLOSETS:
 - A. PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 72" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF, FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 36" AFF.
 - B. TYPE B UNIT ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FULL WIDTH.
9. ALIGN CENTER OF CLOSET DOORS WITH THE CENTER OF CLOSET IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.
10. ALL REACH-UP RESIDENTIAL CLOSETS ARE 24" DEEP INSIDE CLEAR (FACE OF WALL TO FACE OF WALL) UNLESS NOTED OTHERWISE.
11. WING WALLS ADJACENT TO CASEWORK ARE 2-2" LONG, UNLESS NOTED OTHERWISE.
12. WING WALLS OR FURNING WALLS ADJACENT TO BATHTUBS OR SHOWERS EXTEND A MAXIMUM OF 1-1/2" BEYOND FACE OF SKIRT OR CURB, UNLESS NOTED OTHERWISE SUCH THAT TOTAL OVERLAP INTO A ACCESSIBILITY CLEARANCE (INCLUDING BASE) IS 2" OR LESS.
13. CONFORM TO MOUNTING HEIGHT REQUIREMENTS SHOWN ON **19A5.01**.
14. PROVIDE CANE DETECTION IN ACCORDANCE WITH DETAIL **3A5.01** BELOW OBJECTS WHICH PROJECT BEYOND THE LIMITS SHOWN IN DETAIL **3A5.01**.
15. SEE WANY ELEVATIONS ON SHEETS **A0.21**.
16. SEE KITCHEN ELEVATIONS ON SHEETS **A10.11**, **A10.12** AND **A10.13** FOR ACCESSIBLE OUTLET AND SWITCH LOCATIONS.
17. PROVIDE BLOCKING FOR WALL MOUNTED BIKE RACK.
18. PROVIDE ADDITIONAL LAYERS OF GYP AS REQUIRED TO ALIGN FINISHES.
19. PROVIDE OUTLET AT SIDEWALL, 6" MAX FROM THE EDGE OF THE COUNTER.



1 BUILDING 1 - LEVEL 1 - ENLARGED PLAN - COMMON AREAS
1/4" = 1'-0"

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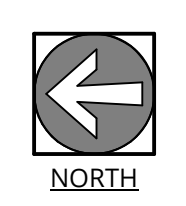
ELMONICA BUILDING 1
SW 170TH AND W BASELINE
REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C1	5/25/2023	Land Use Revision 3

ENLARGED PLANS - COMMON AREAS

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:



A5.11-1

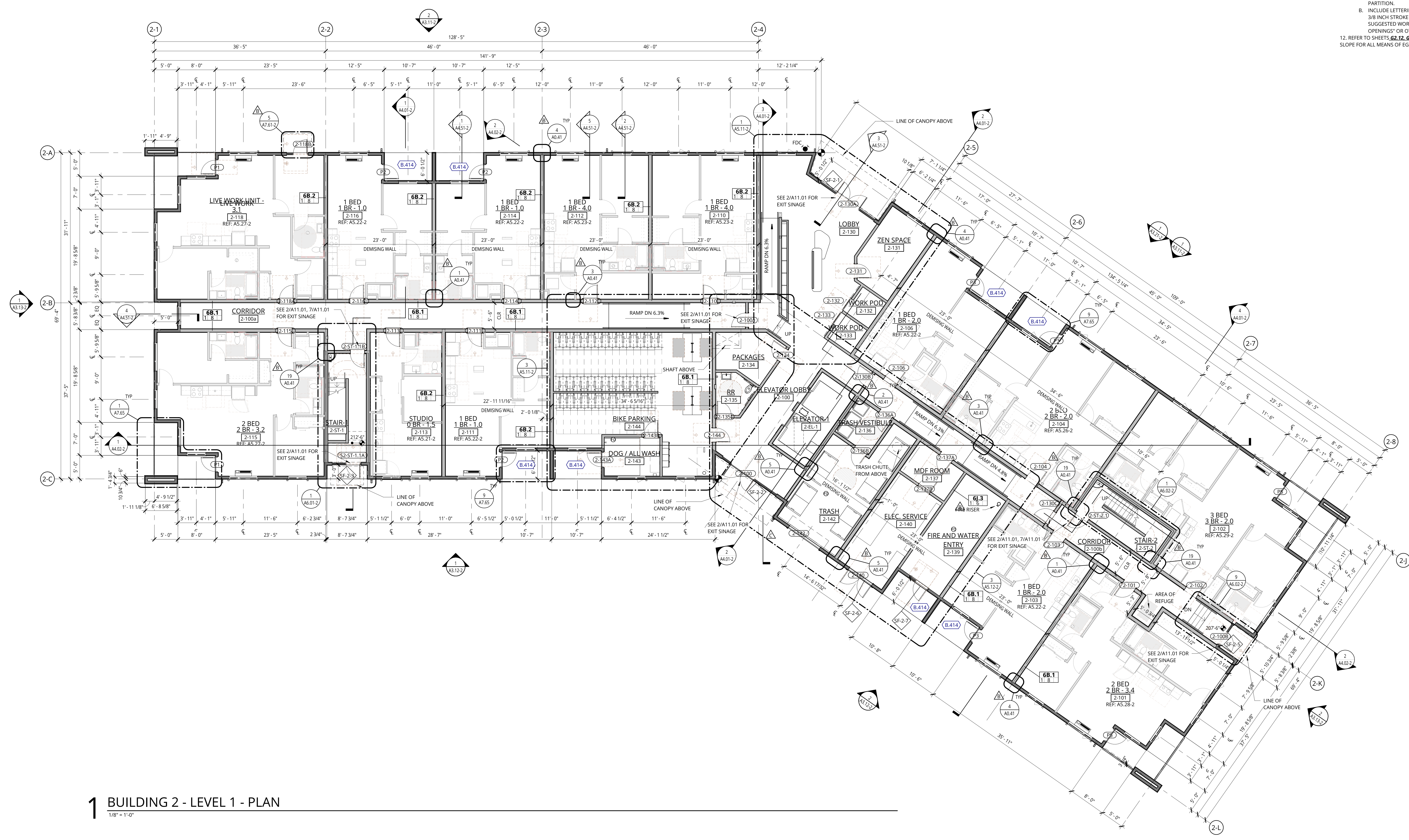
GENERAL NOTES - FLOOR PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
- SEE SHEET A0.41 FOR TYPICAL FRAMING AND ACoustICAL DETAILS.
- SEE FIRE/SAFE SHEETS BEGINNING ON 62.21 FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
- REFER TO ENLARGED UNIT PLANS (A5.21 SERIES) FOR DETAILED INFORMATION WITHIN EACH RESIDENTIAL UNIT.
- REFER TO STRUCTURAL DRAWINGS FOR COLUMNS, SHEAR WALL AND BEAM SIZES.
- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING A5.01. REFER TO SUD LAYOUT PLANS FOR CONCRETE AND MASONRY WALL LOCATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.
- SEE ENLARGED PLANS FOR DETAILED DIMENSIONS, WALL TAGS AND DOOR TAGS.
- SEE SHEETS BEGINNING ON A5.01 FOR TYPICAL ACCESSIBILITY CLEARANCES.
- WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR CEILING OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE. SUCH IDENTIFICATION SHALL:
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 - INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8 INCH STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORKING 'FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS' OR OTHER WORKING.
- REFER TO SHEETS 62.12, 62.13, 62.14 AND 62.15 TO REFERENCE THE SLOPE AND CROSS SLOPE FOR ALL MEANS OF EGRESS EXIT DISCHARGE AND CURB HEIGHTS.

NOT FOR CONSTRUCTION

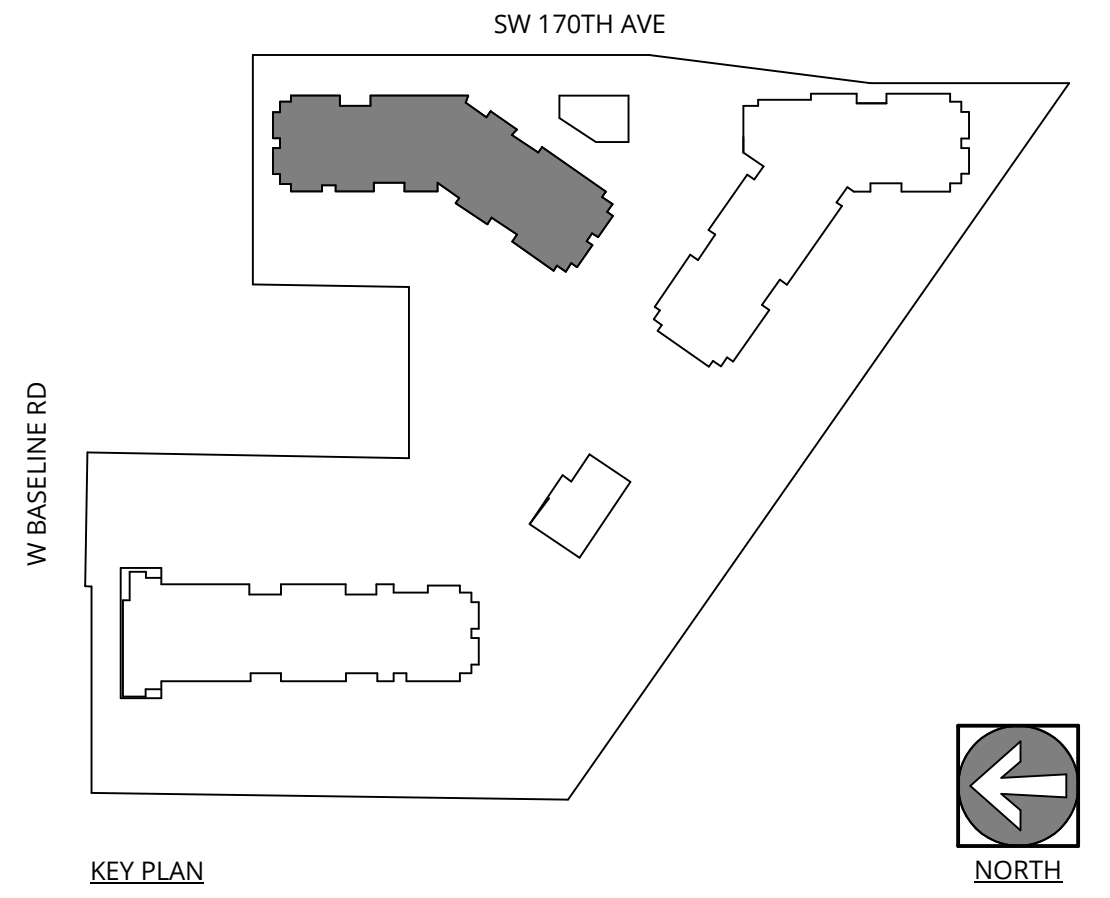


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1 BUILDING 2 - LEVEL 1 - PLAN
1/8" = 1'-0"

BIKE PARKING COUNT BUILDING 2		
BIKE RACK COUNT	NUMBER OF BIKES PARKED	Description
BIKE ROOM LEVEL 1		
2	4	Hoop Rack
43	43	Wall Rack
45	47	
UNIT POTENTIAL LEVELS 1-5		
57	57	Wall Rack
102	104	



ELMONICA BUILDING 2
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

LEVEL 1 FLOOR PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A2.01-2

GENERAL NOTES - FLOOR PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
- SEE SHEET A0.41 FOR TYPICAL FRAMING AND ACOUSTICAL DETAILS.
- SEE FIRE/SAFE SHEETS BEGINNING ON G2.01 FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
- REFER TO ENLARGED UNIT PLANS (A2.21 SERIES) FOR DETAILED INFORMATION WITHIN EACH RESIDENTIAL UNIT.
- REFER TO STRUCTURAL DRAWINGS FOR COLUMNS, SHEAR WALL AND BEAM SIZES.
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- REFER TO SHEETS G2.12, G2.13, G2.14 AND G2.15 TO REFERENCE THE SLOPE AND CROSS SLOPE FOR ALL MEANS OF EGRESS EXIT DISCHARGE AND CURB HEIGHTS.

NOT FOR CONSTRUCTION

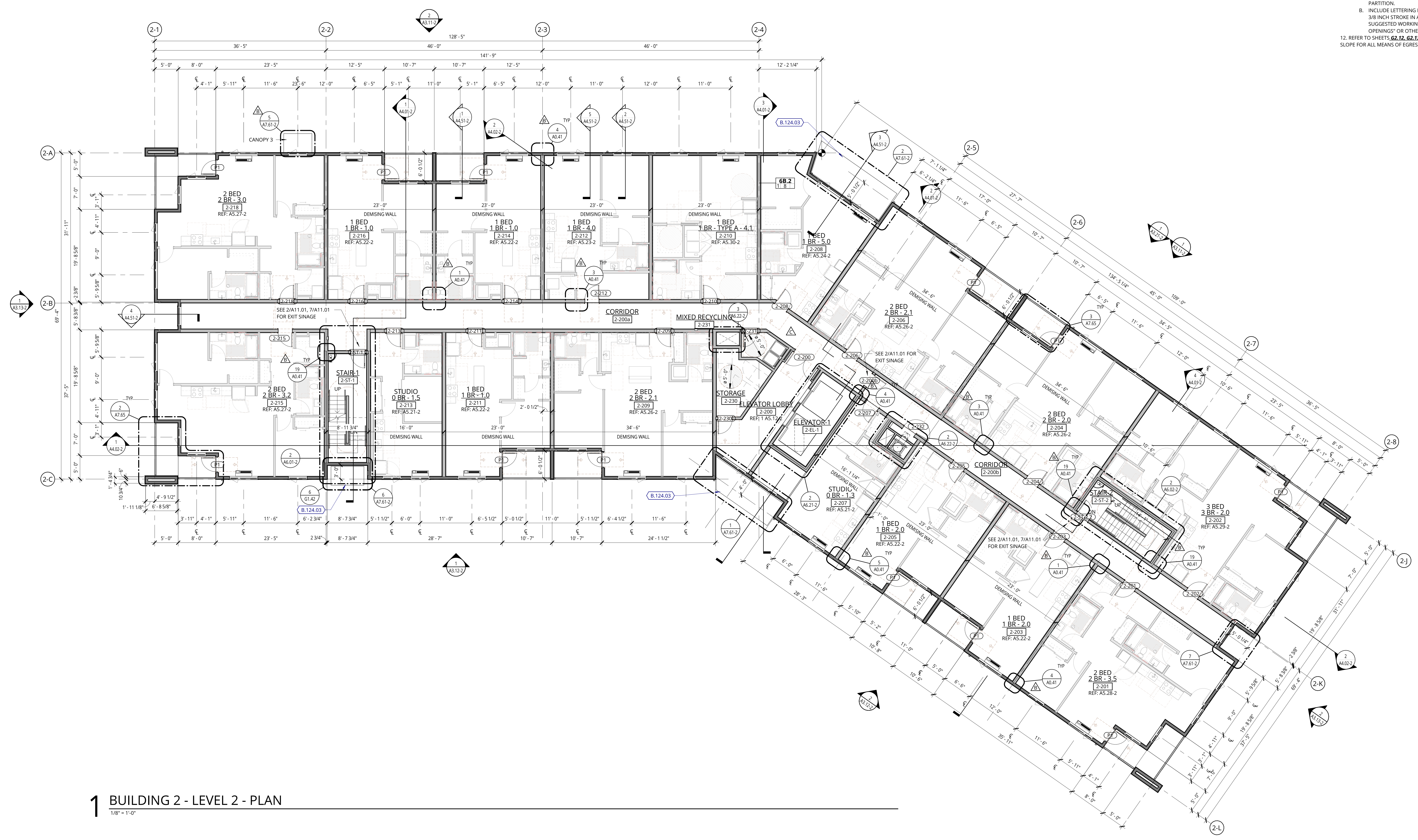


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1 BUILDING 2 - LEVEL 2 - PLAN
1/8" = 1'-0"

ELMONICA BUILDING 2
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

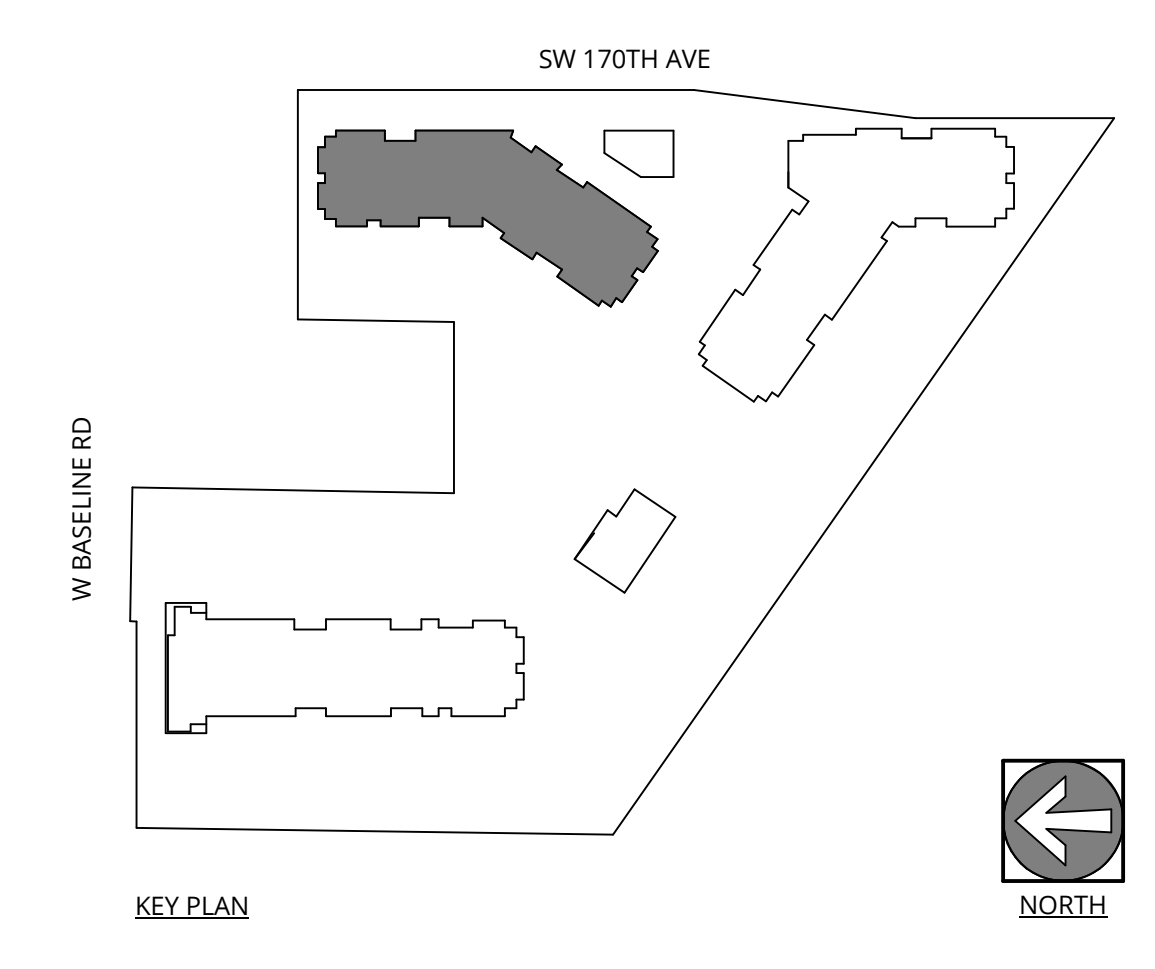
REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

LEVEL 2 FLOOR PLAN

LAND USE

DATE	PROJECT NUMBER
5.25.2023	215390

SHEET NUMBER
A2.02-2



GENERAL NOTES - FLOOR PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
- SEE SHEET A0.41 FOR TYPICAL FRAMING AND ACOUSTICAL DETAILS.
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NOT FOR CONSTRUCTION

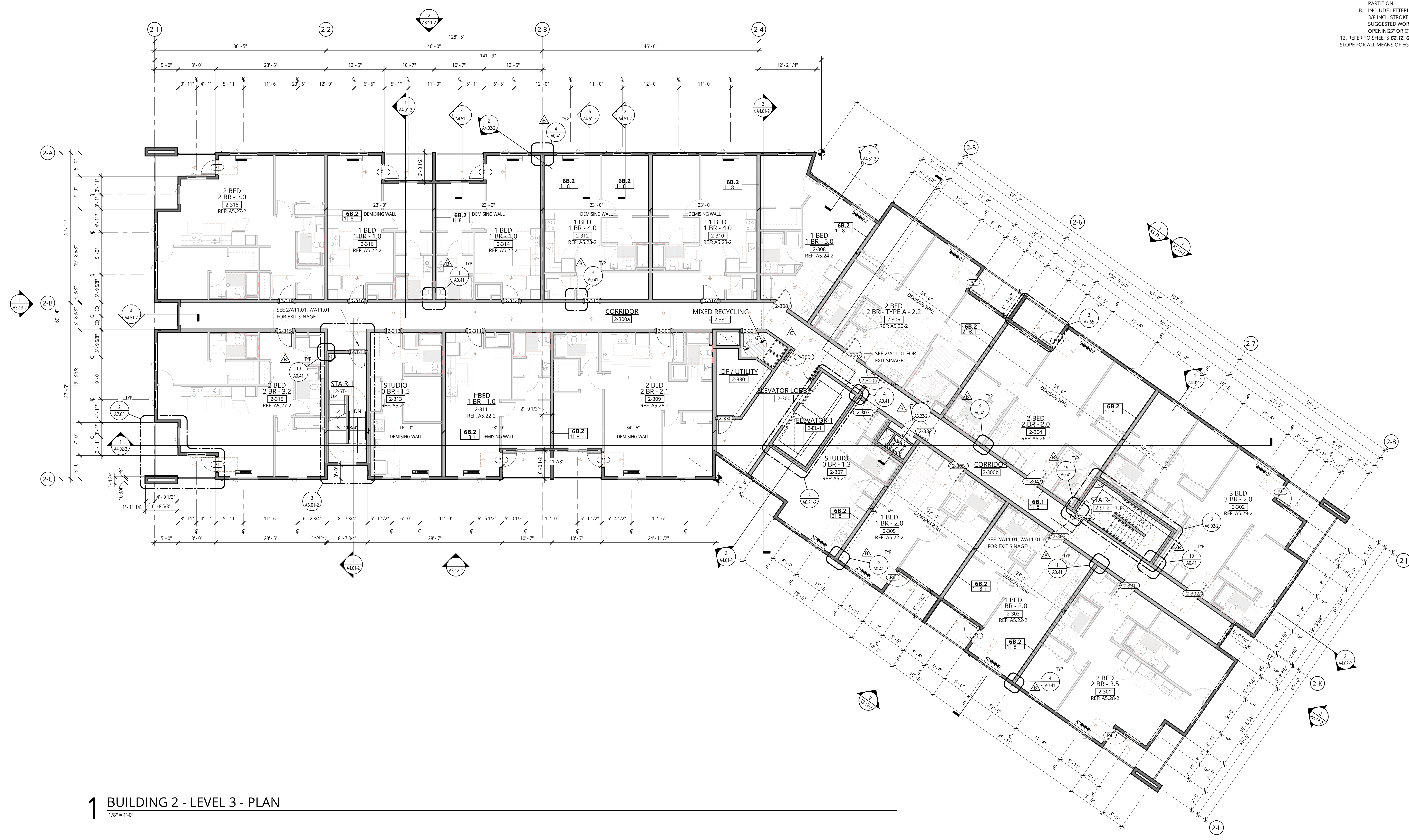


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1 BUILDING 2 - LEVEL 3 - PLAN
 1/8" = 1'-0"

ELMONICA BUILDING 2
 SW 170TH AND W BASELINE

REMBOLD PROPERTIES

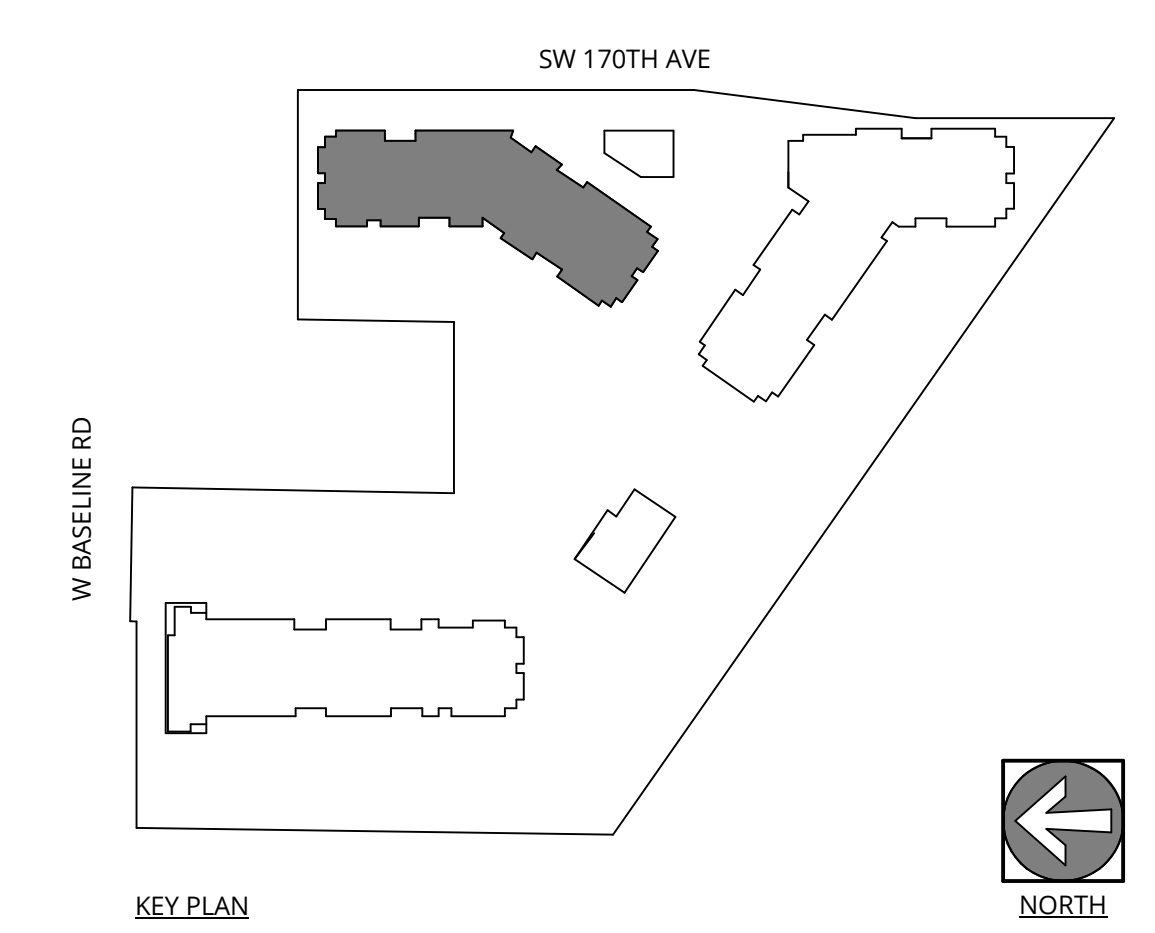
REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

LEVEL 3 FLOOR PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
 SHEET NUMBER:

A2.03-2



GENERAL NOTES - FLOOR PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
- SEE SHEET A0.41 FOR TYPICAL FRAMING AND ACOUSTICAL DETAILS.
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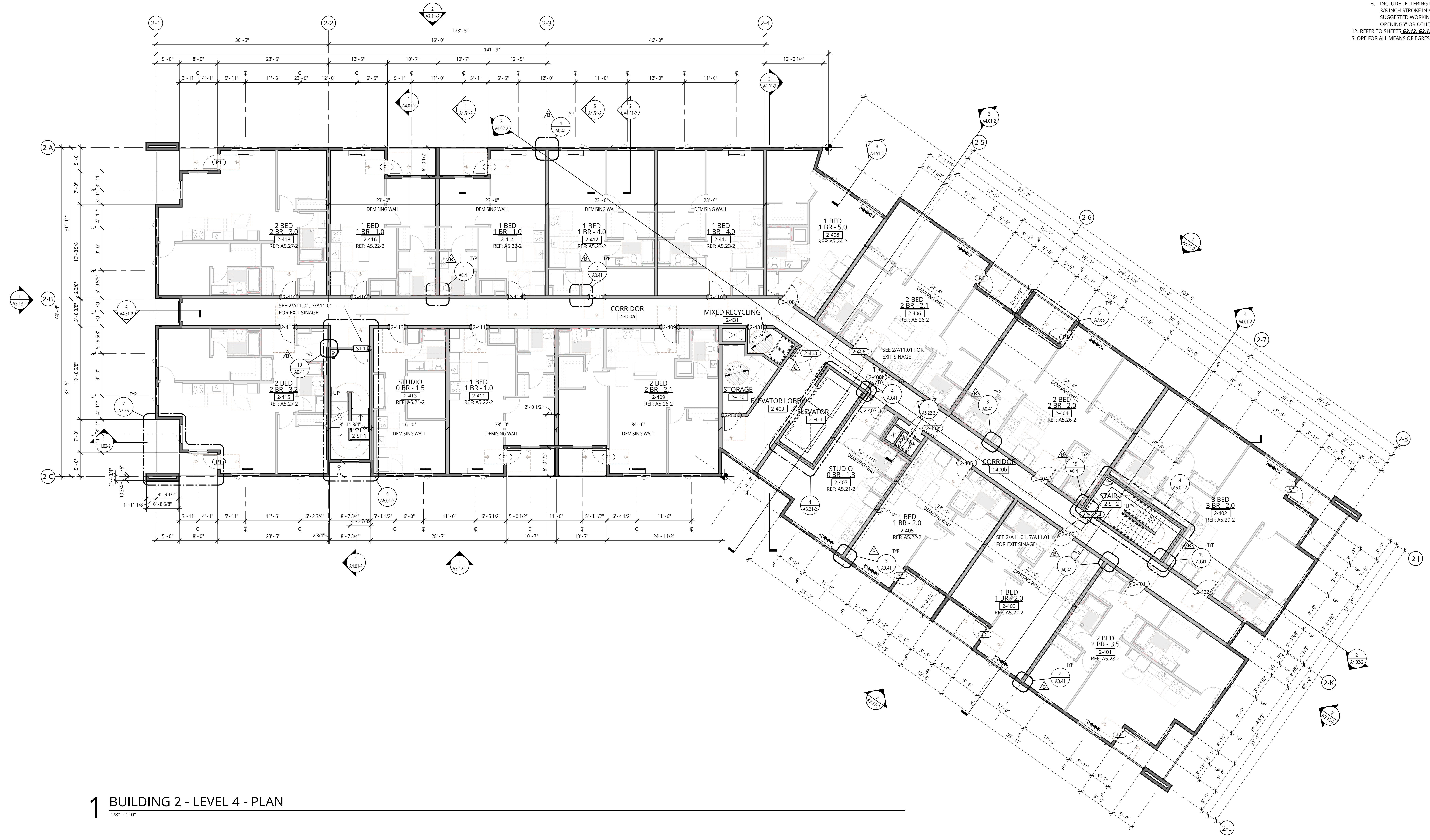


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1 BUILDING 2 - LEVEL 4 - PLAN
 1/8" = 1'-0"

ELMONICA BUILDING 2
 SW 170TH AND W BASELINE

REMBOLD PROPERTIES

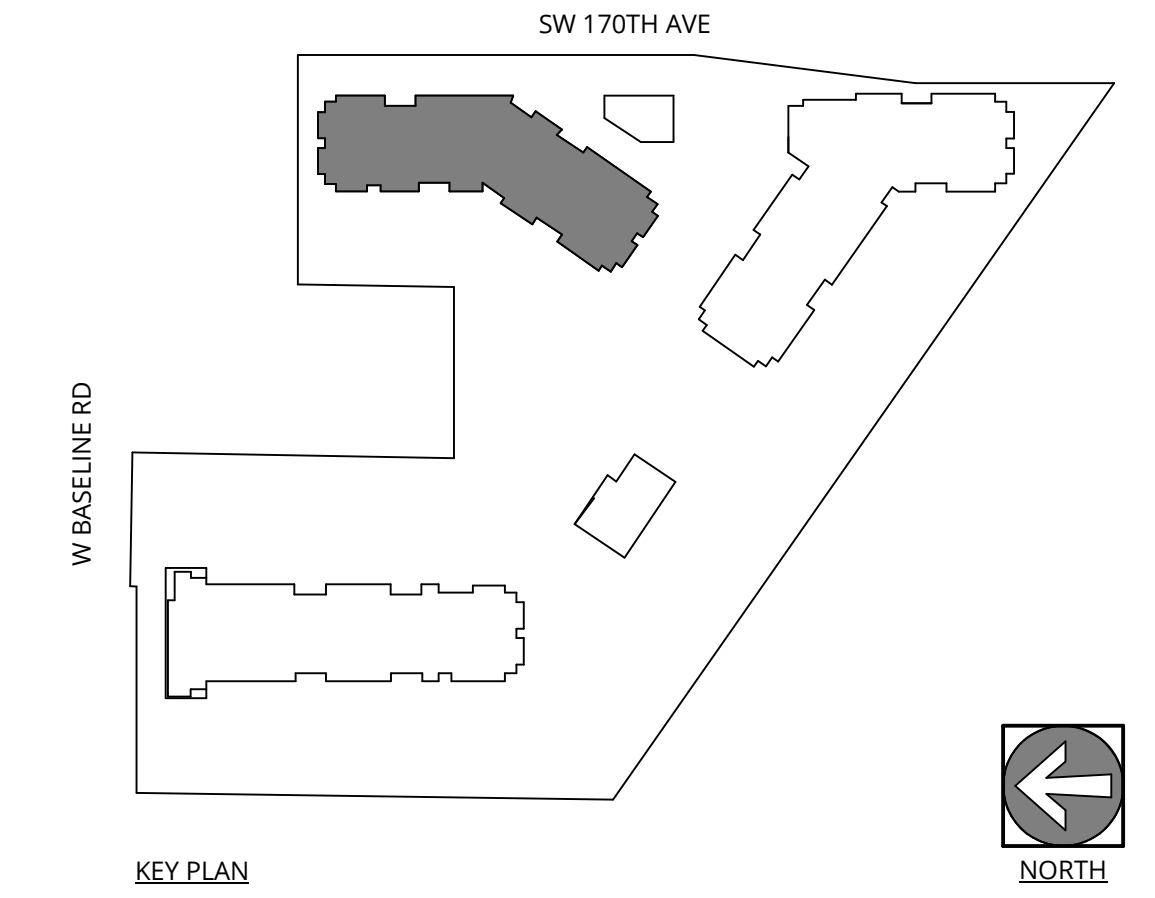
REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

LEVEL 4 FLOOR PLAN

LAND USE

DATE	PROJECT NUMBER
5.25.2023	215390

A2.04-2



GENERAL NOTES - FLOOR PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
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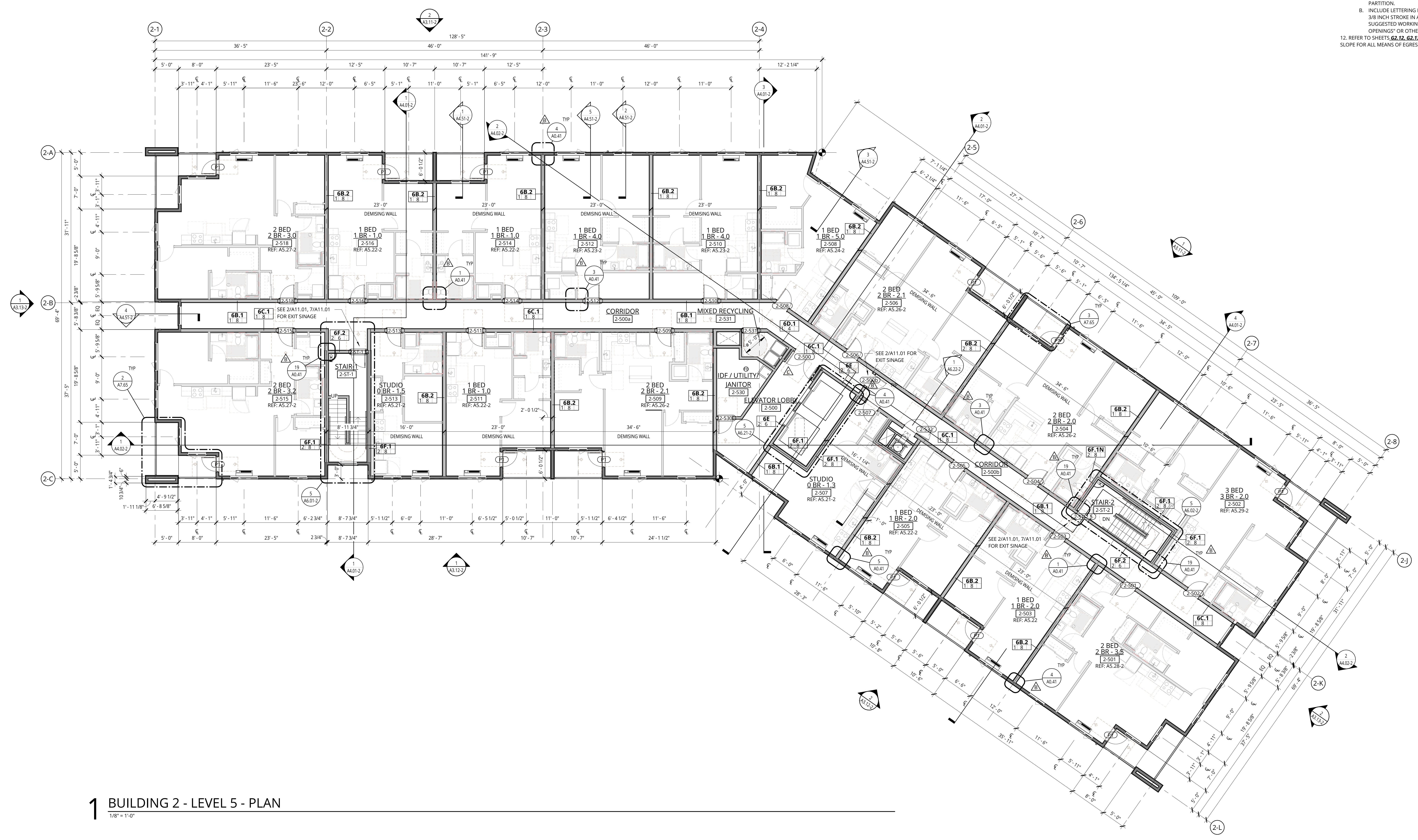


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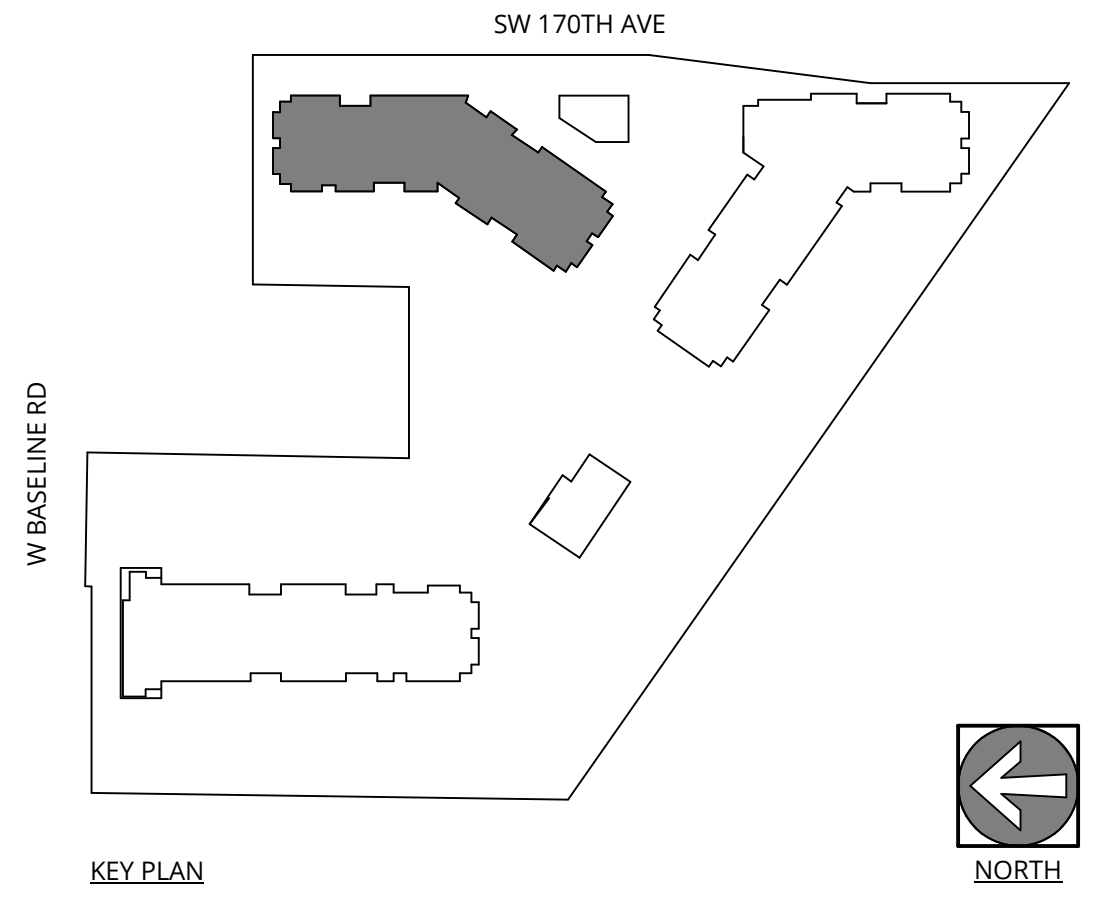
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1 BUILDING 2 - LEVEL 5 - PLAN
1/8" = 1'-0"



ELMONICA BUILDING 2
SW 170TH AND W BASELINE
REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

LEVEL 5 FLOOR PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A2.05-2

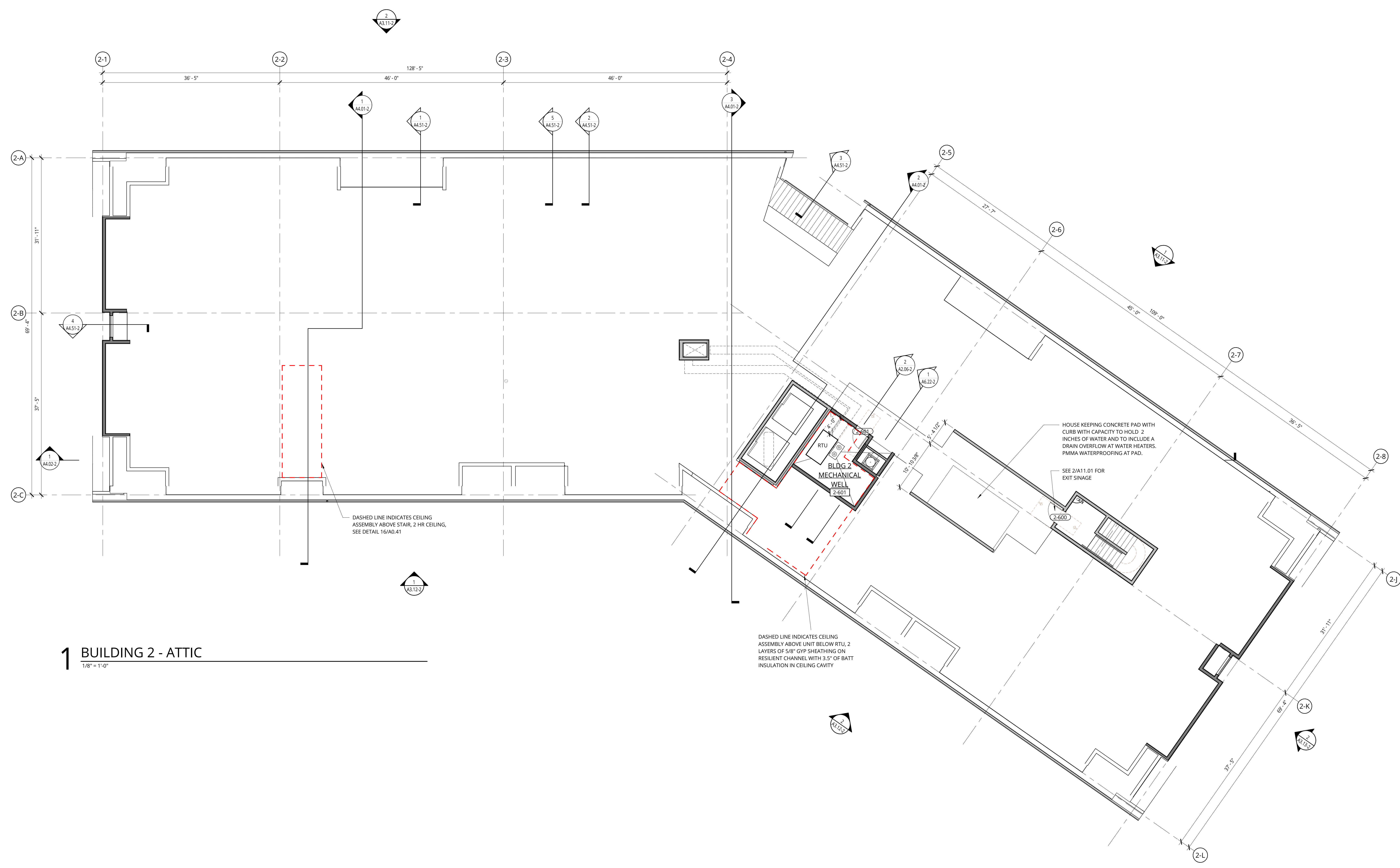


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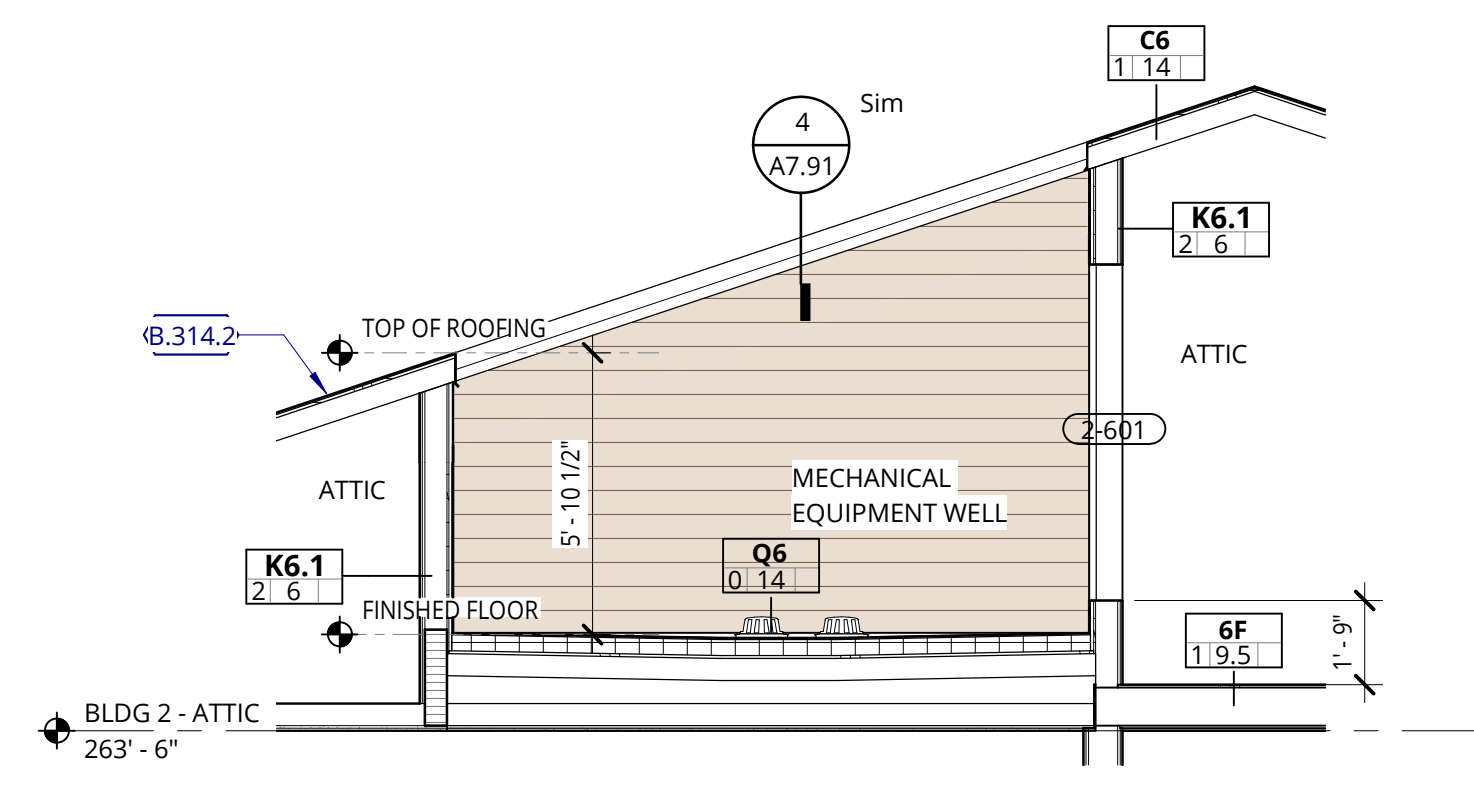
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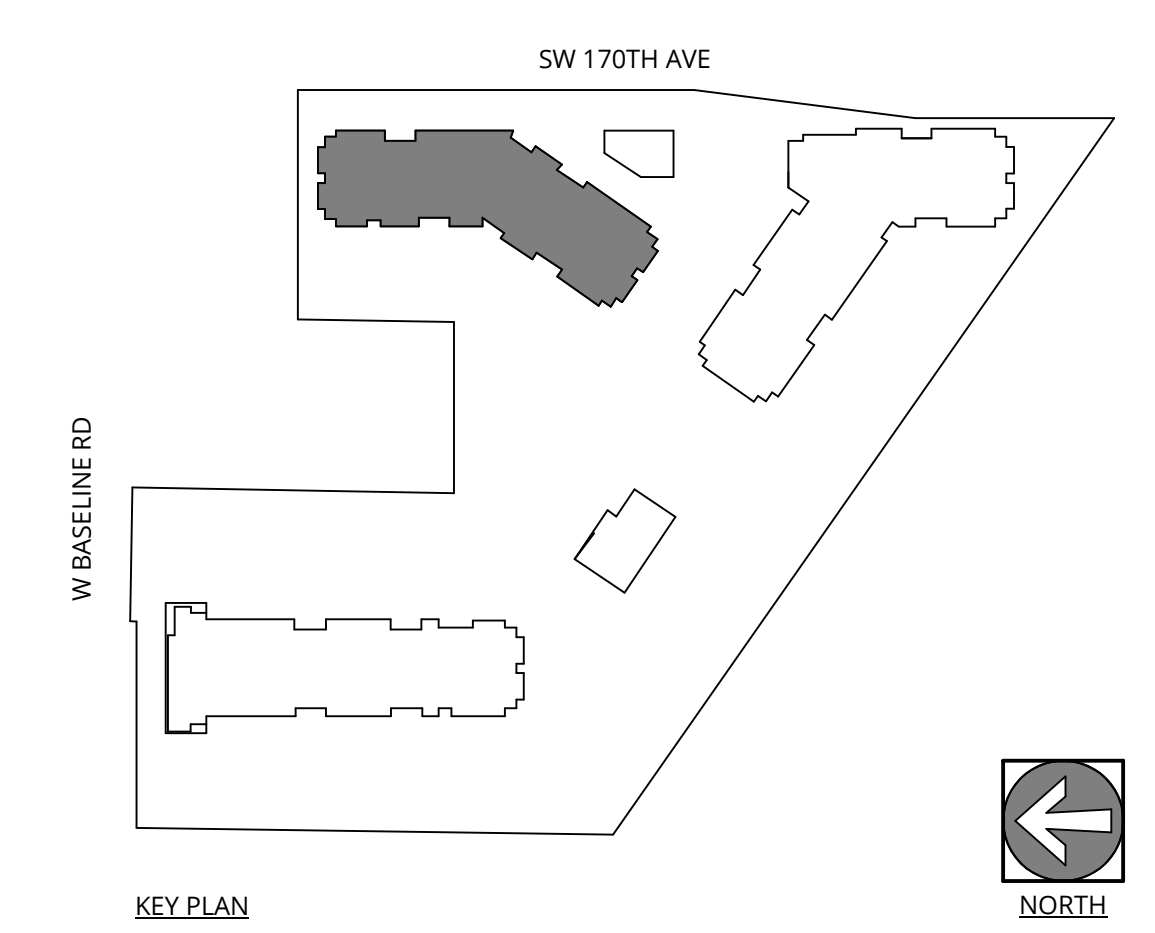
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1 BUILDING 2 - ATTIC
 1/8" = 1'-0"



2 SECTION AT MEP ATTIC - BUILDING 2
 1/4" = 1'-0"



ELMONICA BUILDING 2
 SW 170TH AND W BASELINE
 REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

ATTIC PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
 SHEET NUMBER:

A2.06-2

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
B.316	METAL ROOFING - STANDING SEAM
B.410	PRE-FINISHED METAL GUTTER
B.411	PRE-FINISHED METAL DOWNSPOUT

GENERAL NOTES - ROOF PLANS

- REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEET A0.01 FOR HORIZONTAL ASSEMBLIES.
- PROVIDE ROOFING MANUFACTURERS STANDARD WALKWAY PADS BETWEEN ALL ROOF HATCHES, ROOF ACCESS DOORS, AND ROOFTOP EQUIPMENT AND AROUND PERIMETER OF ALL ROOFTOP EQUIPMENT.
- PROVIDE POSITIVE ROOF SLOPE TO DRAIN AT MINIMUM SLOPE OF 1/4" PER FOOT MEASURED ALONG VALLEYS, UNLESS NOTED OTHERWISE.
- ROOF PENETRATIONS SHOWN ARE SCHEMATIC IN NATURE. COORDINATE ACTUAL SIZE, TYPE AND LOCATION OF EQUIPMENT, CURBS, AND ANY OTHER ROOF PENETRATIONS THAT MAY BE REQUIRED TO SUPPORT, SECURE OR FLASH ROOFTOP EQUIPMENT.
- VERIFY AND COORDINATE SLAB PENETRATIONS INCLUDING SLEEVES & BLOCKOUTS AS REQUIRED FOR PLUMBING, MECHANICAL, ELECTRICAL, ETC. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES.
- COMPLY WITH THE MOST STRINGENT OF SMACNA, NRCA OR MANUFACTURERS' REQUIREMENTS FOR FLASHINGS, COPINGS AND OTHER SHEET METAL CONSTRUCTION.
- VERIFY ROOFING MANUFACTURERS MINIMUM REQUIREMENTS FOR LAPPING OF ALL MATERIALS. BRING CONFLICTS WITH ARCHITECTURAL DETAILS TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
- REFER TO DETAILS FOR TOP OF PARAPET DATUMS.
- SEE MEP AND LANDSCAPE DRAWINGS FOR ROOFTOP FURNISHINGS, EQUIPMENT AND PENETRATIONS.

NOT FOR CONSTRUCTION

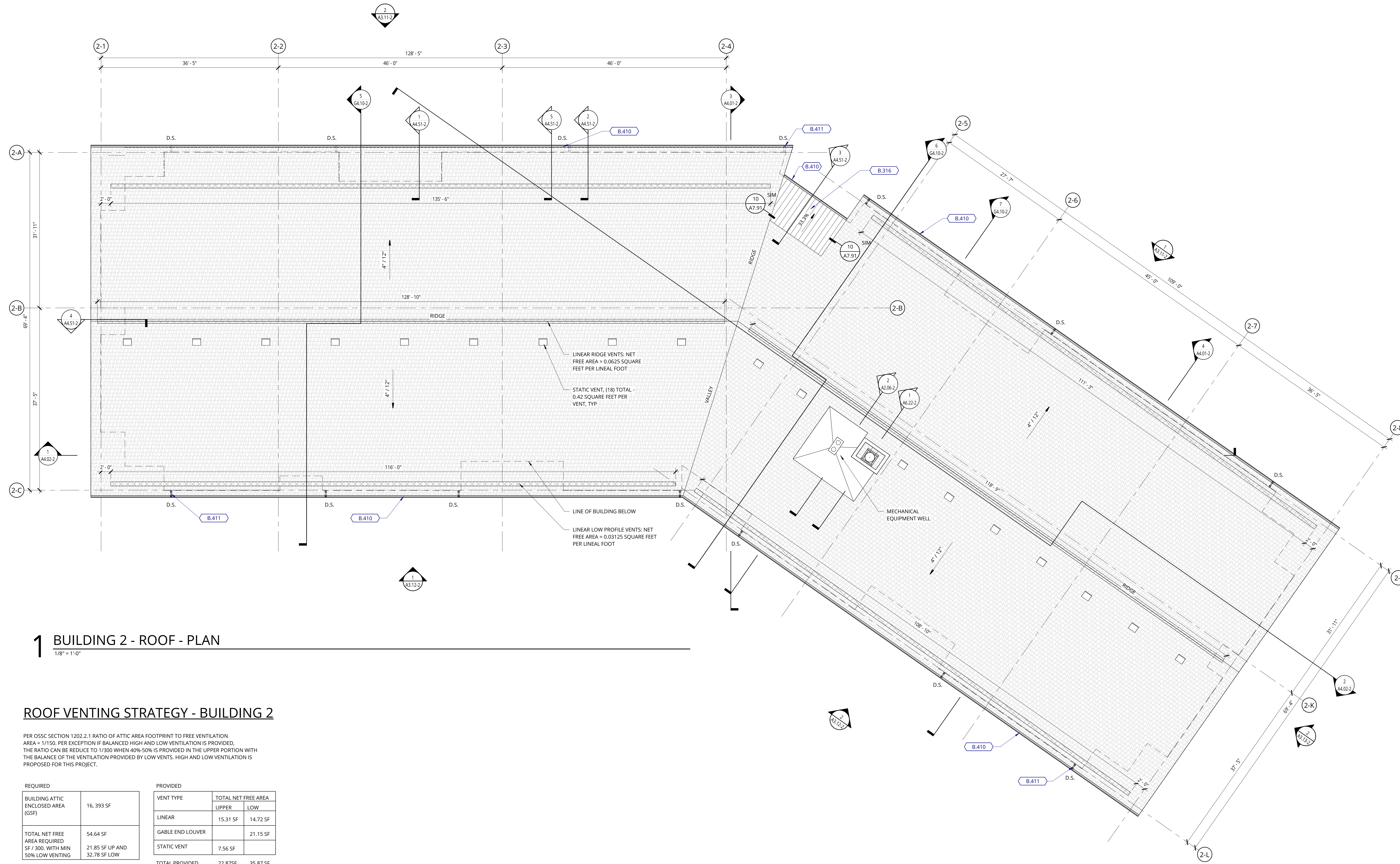


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1 BUILDING 2 - ROOF - PLAN
1/8" = 1'-0"

ROOF VENTING STRATEGY - BUILDING 2

PER OSSC SECTION 1202.2.1 RATIO OF ATTIC AREA FOOTPRINT TO FREE VENTILATION AREA = 1/150. PER EXCEPTION IF BALANCED HIGH AND LOW VENTILATION IS PROVIDED, THE RATIO CAN BE REDUCED TO 1/300 WHEN 40%-50% IS PROVIDED IN THE UPPER PORTION WITH THE BALANCE OF THE VENTILATION PROVIDED BY LOW VENTS. HIGH AND LOW VENTILATION IS PROPOSED FOR THIS PROJECT.

REQUIRED	BUILDING ATTIC ENCLOSED AREA (GSF)	PROVIDED	
		VENT TYPE	TOTAL NET FREE AREA
	16,393 SF	UPPER	LOW
		LINEAR	15.31 SF
		GABLE END LOUVER	21.15 SF
		STATIC VENT	7.56 SF
		TOTAL PROVIDED	44.02 SF
			27.47%
			63.80%

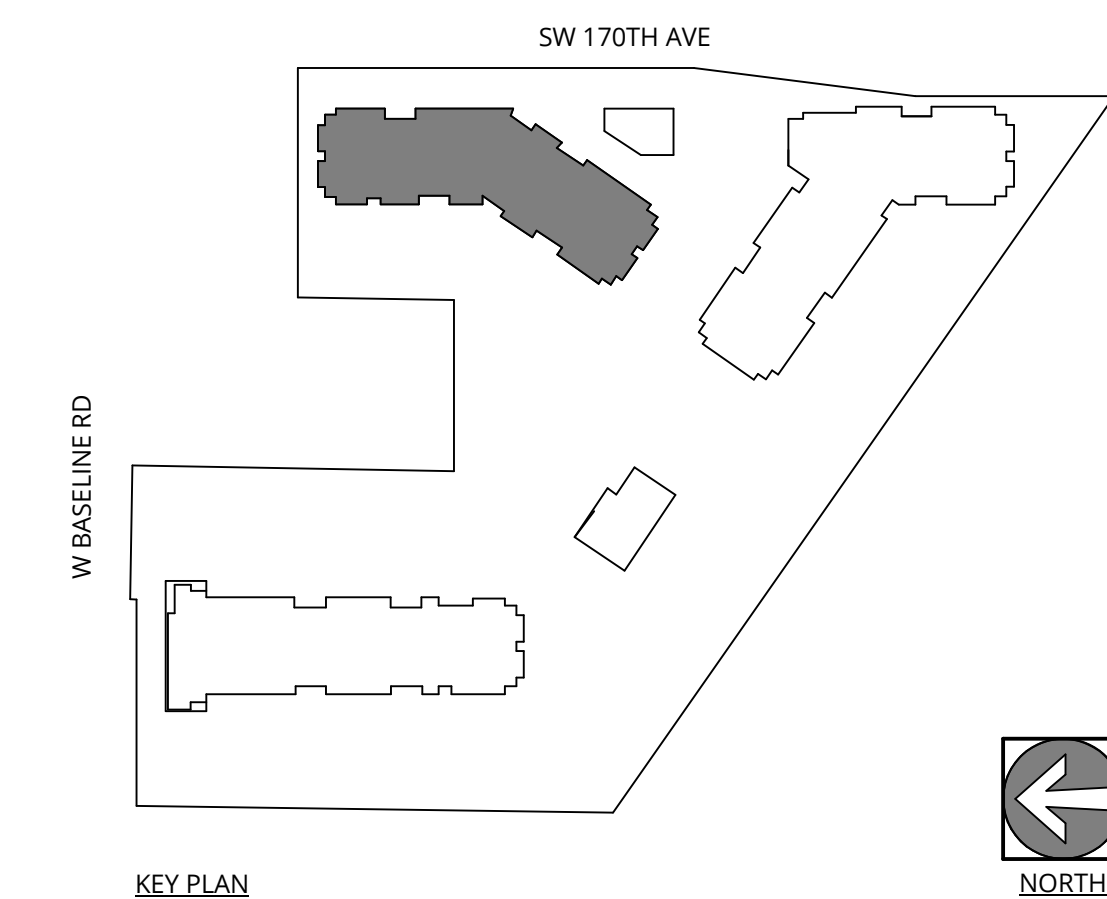
CALCULATIONS

LINEAR LOW PROFILE VENTS LOCATED AT LOW AREA OF ROOF PROVIDES 9 SQ INCHES PER LINEAL FOOT = 0.0625 SQUARE FEET PER LINEAL FOOT WITH ALTERNATING BLOCKING AT EVERY OTHER TRUSS BAY. CALCULATION ASSUMES REDUCTION OF 50% OF NET FREE AREA = 0.03125 SF
TOTAL PROVIDED = 471 FEET X .03125 = 14.72 SF NET FREE AREA PROVIDED

LINEAR RIDGE VENTS AT HIGH AREA OF THE ROOF PROVIDE 18 SQ INCHES PER LINEAL FOOT = 0.125 SQUARE FEET PER LINEAL FOOT WITH ALTERNATING BLOCKING AT RIDGE EVERY OTHER TRUSS BAY. CALCULATION ASSUMES REDUCTION 50% OF NET FREE AREA = 0.0625 SF
TOTAL PROVIDED = 245 FEET X 0.0625 = 15.31 SF NET FREE AREA PROVIDED

STATIC VENT AT HIGH AREA OF THE ROOF PROVIDE 60 SQ INCHES PER VENT = 0.42 SQUARE FEET PER VENT
TOTAL PROVIDED = 18 VENTS X 0.42 = 7.56 SF NET FREE AREA PROVIDED

GABLE END LOUVERS PROVIDE THE REMINDER FOR INTAKE VENTS. SEE ELEVATIONS
TOTAL PROVIDED (4.5' X 5') = 22.5 SF (AT 47% FREE AREA) = 10.58 SF X 2 AT EACH END OF THE BUILDING = 21.15 SF TOTAL NET FREE AREA PROVIDED



ELMONICA BUILDING 2
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

ROOF PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390

SHEET NUMBER: A2.07-2

KEY VALUE	KEYNOTE TEXT
B.115.04	METAL RAILING
B.212.6	FIBER CEMENT SHAKE SIDING (STAINED)
B.212.7	FIBER CEMENT SHAKE SIDING (PAINTED)
B.212.8	FIBER CEMENT TRANSITION TRIM BAND, SEE DETAIL (GRAY FINISHED)
B.212.9	SYNTHETIC TRIM B. SEE DETAIL (B.A7.31)(PAINTED)
B.221	VINYL WINDOWS
B.225	ALUMINUM FRAMED STOREFRONTS
B.241	PTHP LOUVER(CUSTOM)
B.314.2	FIBERGLASS REINFORCED SHINGLES ROOFING
B.316	METAL ROOFING - STANDING SEAM
B.410	PRE-FINISHED METAL GUTTER
B.411	PRE-FINISHED METAL DOWNSPOUT
B.412	BUILDING SIGNAGE MONUMENT BACKLIT CABINET(CANOPY-STEM MOUNTED LETTERS)
B.413	WOOD FRAMED BALCONY WITH DECORATIVE SLAT SOFFIT (PAINTED), REFER TO ASSEMBLY 6P ON SHEET A0.31

KEY VALUE	KEYNOTE TEXT
FC SHAKE SIDING-PAINTED WALL ASSEMBLY L6.1, L6.2	
FC SHAKE SIDING - STAINED WALL ASSEMBLY L6.1, L6.2	
FC LAP SIDING - STAINED WALL ASSEMBLY K6.1, K6.2	
FC PANEL - STAINED WALL ASSEMBLY J6.1, J6.2, J6.3	
FC PANEL - PAINTED WALL ASSEMBLY J6.1, J6.2, J6.3	

- GENERAL NOTES - EXTERIOR ELEVATIONS**
- REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
 - ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL OR PROJECT DATUM.
 - SEE DOOR SCHEDULE SHEET A12.01 FOR DOOR LOCATIONS AND TYPES.
 - SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
 - REFER TO A0.11 FOR EXTERIOR WALL TYPES
 - SEE SHEET A12.21 FOR WINDOW AND LOUVER INFORMATION.
 - ALL FENESTRATION (STOREFRONT AND WINDOW WALL) SHALL BE NFRC CERTIFIED. PROVIDE LABEL CERTIFICATES TO THE ON-SITE CITY INSPECTOR AT THE PROJECT SITE PRIOR TO INSTALLATION.
 - AHJ DESIGN REVIEW AND APPROVAL DOES NOT SUPERSEDE THE SIGN CODE. OBTAIN SEPARATE SIGN PERMIT PRIOR TO INSTALLATION OF EXTERIOR BUILDING SIGNAGE.
 - DOORS INTO ELECTRICAL CONTROL PANEL ROOMS SHALL BE MARKED WITH A PLAINLY VISIBLE AND LEGIBLE SIGN STATE "ELECTRICAL ROOM" OR APPROVED WORDING.

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1 BUILDING 2 - EAST 1
1/8" = 1'-0"



2 BUILDING 2 - EAST 2
1/8" = 1'-0"

ELMONICA BUILDING 2
SW 170TH AND W BASELINE
REMBOLD PROPERTIES

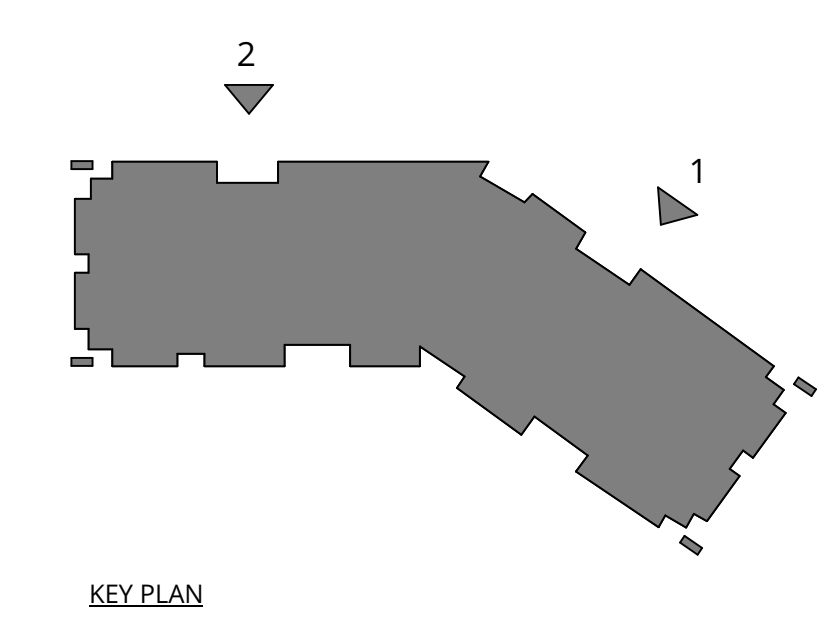
REVISION	DATE	REASON FOR ISSUE
C	4/28/2023	Land Use Revision 2
C1	5/25/2023	Land Use Revision 3

BUILDING ELEVATIONS - PERMIT

LAND USE

DATE	PROJECT NUMBER
5.25.2023	215390

A3.11-2



KEY VALUE	KEYNOTE TEXT
B.115.04	METAL RAILING
B.212.6	FIBER CEMENT SHAKE SIDING (PAINTED)
B.212.7	FIBER CEMENT SHAKE SIDING (STAINED)
B.212.8	FIBER CEMENT TRANSITION TRIM BAND, SEE DETAIL (GRAY/PAINTE)
B.212.9	SYNTHETIC TRIM B. SEE DETAIL B1A7.31(PAINTE)
B.221	VINYL WINDOWS
B.241	PTHP LOUVER(CUSTOM)
B.314.2	FIBERGLASS REINFORCED SHINGLES ROOFING
B.410	PRE-FINISHED METAL GUTTER
B.411	PRE-FINISHED METAL DOWNSPOUT
B.412	BUILDING SIGNAGE (MONUMENT-BACKLIT CABINET/CANOPY STEM MOUNTED LETTERS)
B.413	WOOD-FRAMED BALCONY WITH DECORATIVE SLAT SOFFIT (PAINTED), REFER TO ASSEMBLY 6P ON SHEET A0.31

EXTERIOR MATERIAL LEGEND

- FC SHAKE SIDING-PAINTED WALL ASSEMBLY L6.1, L6.2
- FC SHAKE SIDING - STAINED WALL ASSEMBLY L6.1, L6.2
- FC LAP SIDING - STAINED WALL ASSEMBLY J6.1, J6.2, J6.3
- FC PANEL - STAINED WALL ASSEMBLY J6.1, J6.2, J6.3
- FC PANEL - PAINTED WALL ASSEMBLY J6.1, J6.2, J6.3

GENERAL NOTES - EXTERIOR ELEVATIONS

1. REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL (OR PROJECT DATUM).
3. SEE DOOR SCHEDULE SHEET A12.01 FOR DOOR LOCATIONS AND TYPES.
4. SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
5. REFER TO A0.11 FOR EXTERIOR WALL TYPES.
6. SEE SHEET A12.21 FOR WINDOW AND LOUVER INFORMATION.
7. ALL FENESTRATION (STOREFRONT AND WINDOW WALLS) SHALL BE NFRC CERTIFIED. PROVIDE LABEL CERTIFICATES TO THE ON-SITE CITY INSPECTOR AT THE PROJECT SITE PRIOR TO INSTALLATION.
8. AHJ DESIGN REVIEW AND APPROVAL DOES NOT SUPERSEDE THE SIGN CODE. OBTAIN SEPARATE SIGN PERMIT PRIOR TO INSTALLATION OF EXTERIOR BUILDING SIGNAGE.
9. DOORS INTO ELECTRICAL CONTROL PANEL ROOMS SHALL BE MARKED WITH A PLAINLY VISIBLE AND LEGIBLE SIGN STATE "ELECTRICAL ROOM" OR APPROVED WORDING.

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1 BUILDING 2 - WEST 1
1/8" = 1'-0"



2 BUILDING 2 - WEST 2
1/8" = 1'-0"

ELMONICA BUILDING 2
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

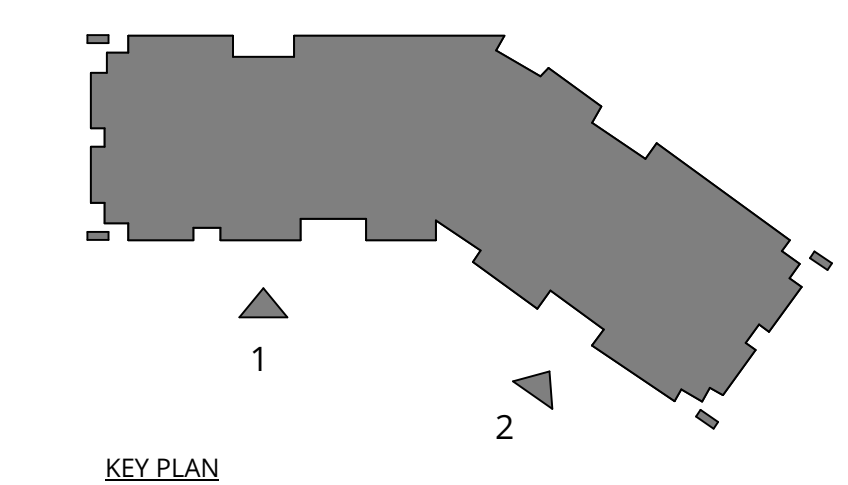
REVISION	DATE	REASON FOR ISSUE
C	4/28/2023	Land Use Revision 2

BUILDING ELEVATIONS - PERMIT

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A3.12-2



KEY VALUE	KEYNOTE TEXT
B.115.04	METAL RAILING
B.212.1	FIBER CEMENT LAP SIDING (STAINED)
B.212.6	FIBER CEMENT SHAKE SIDING (STAINED)
B.412	BUILDING SIGNAGE (MONUMENT-BACKLIT CABINET/CANOPY-STEM MOUNTED LETTERS)
B.413	WOOD-FRAMED BALCONY WITH DECORATIVE SLAT SOFFIT (PAINTED), REFER TO ASSEMBLY 6P ON SHEET A0.31

GENERAL NOTES - EXTERIOR ELEVATIONS

- REFER TO SHEET **A0.01** FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
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EXTERIOR MATERIAL LEGEND

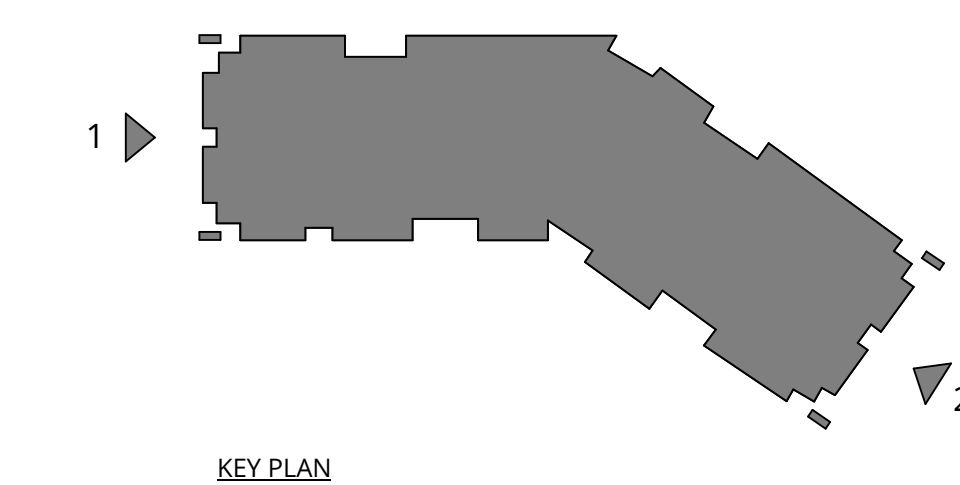
- FC SHAKE SIDING - PAINTED WALL ASSEMBLY L6.1, L6.2
- FC SHAKE SIDING - STAINED WALL ASSEMBLY L6.1, L6.2
- FC LAP SIDING - STAINED WALL ASSEMBLY K6.1, K6.2
- FC PANEL - STAINED WALL ASSEMBLY J6.1, J6.2, J6.3
- FC PANEL - PAINTED WALL ASSEMBLY J6.1, J6.2, J6.3



1 BUILDING 2 - NORTH
1/8" = 1'-0"



2 BUILDING 2 - SOUTH
1/8" = 1'-0"



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ELMONICA BUILDING 2

SW 170TH AND W BASELINE

REMBOLD PROPERTIES

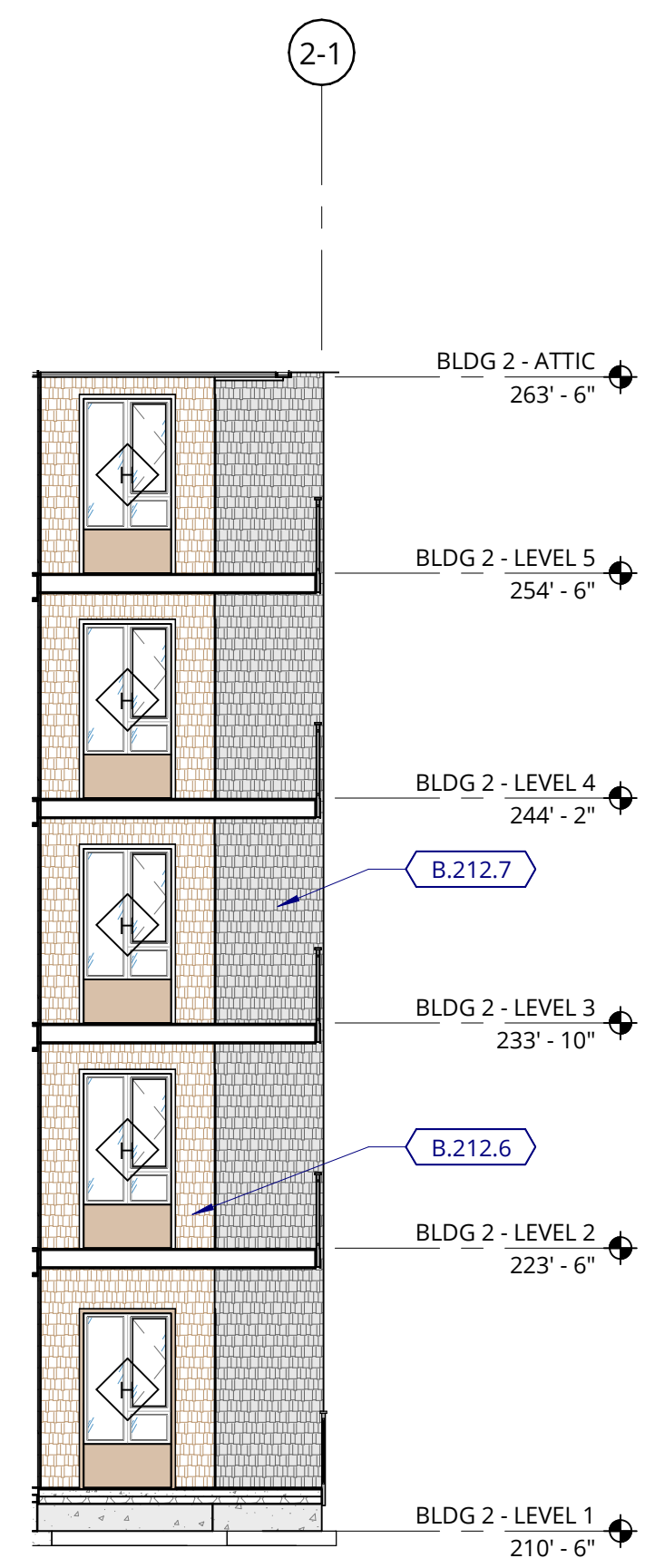
REVISION	DATE	REASON FOR ISSUE
C	4/28/2023	Land Use Revision 2

BUILDING ELEVATIONS - PERMIT

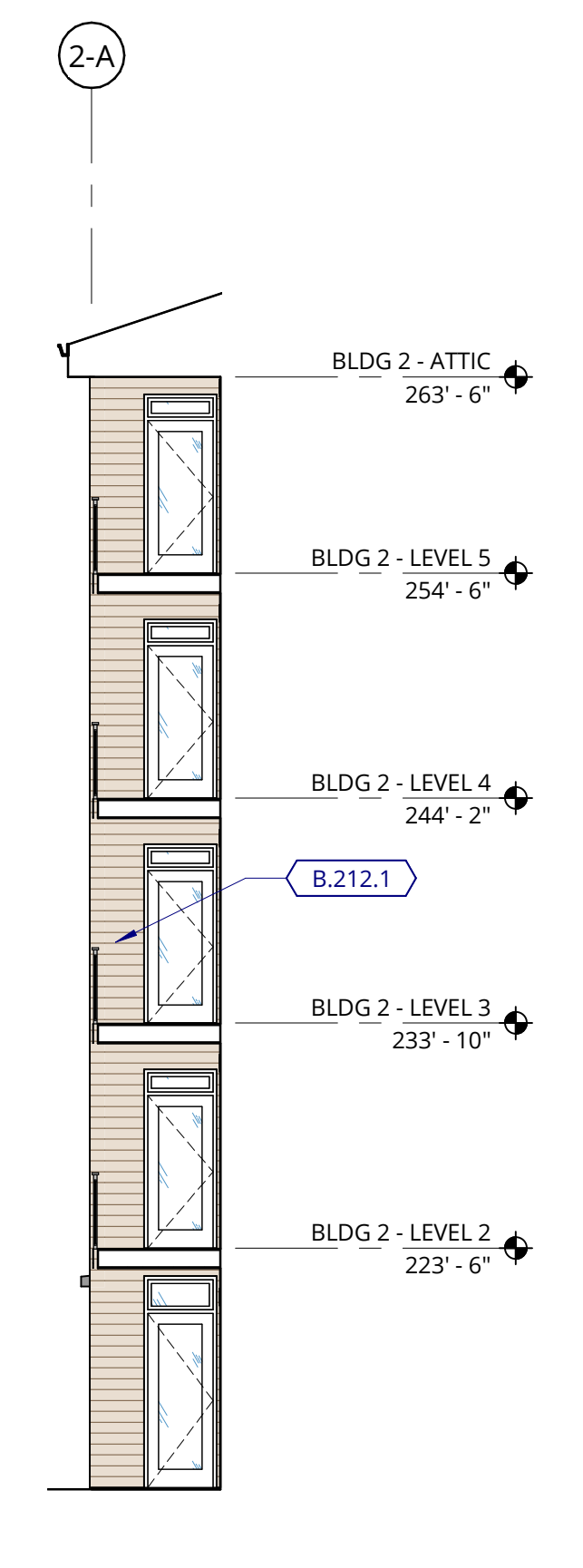
LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

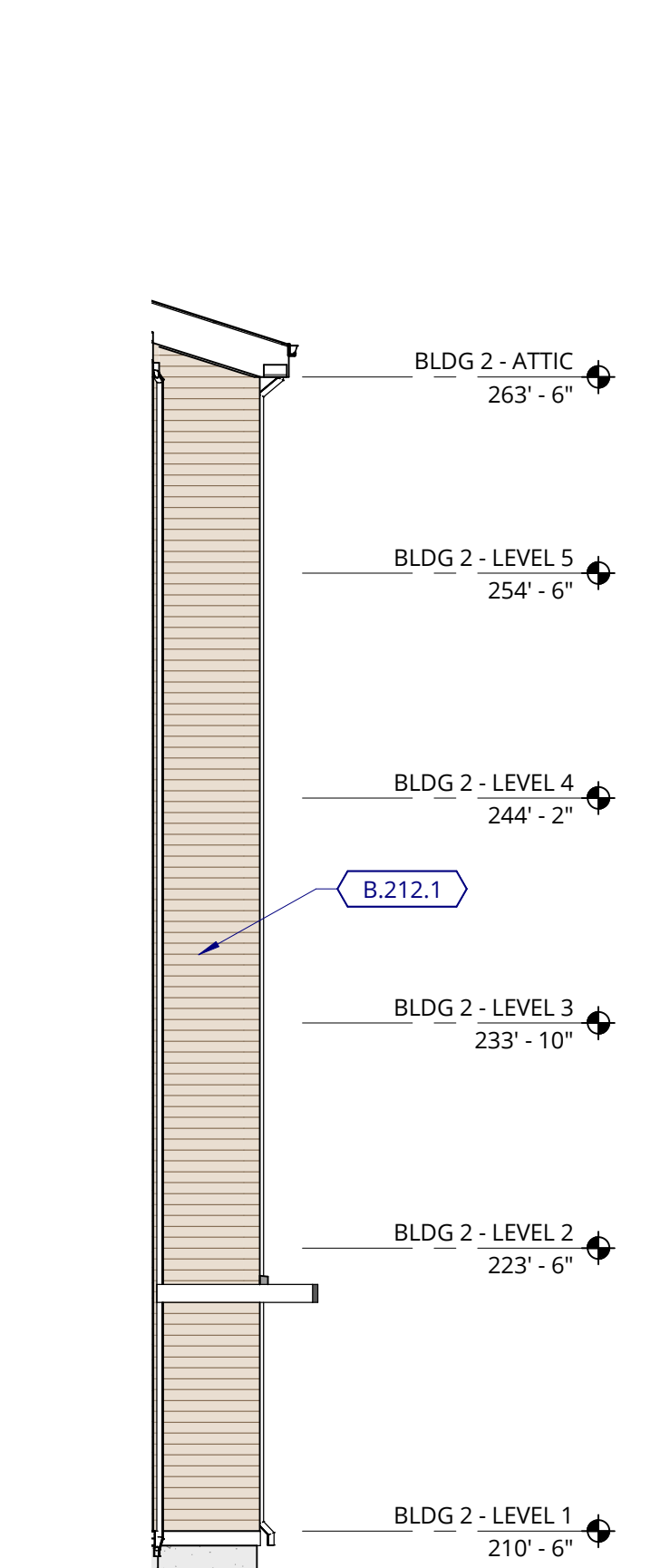
A3.13-2



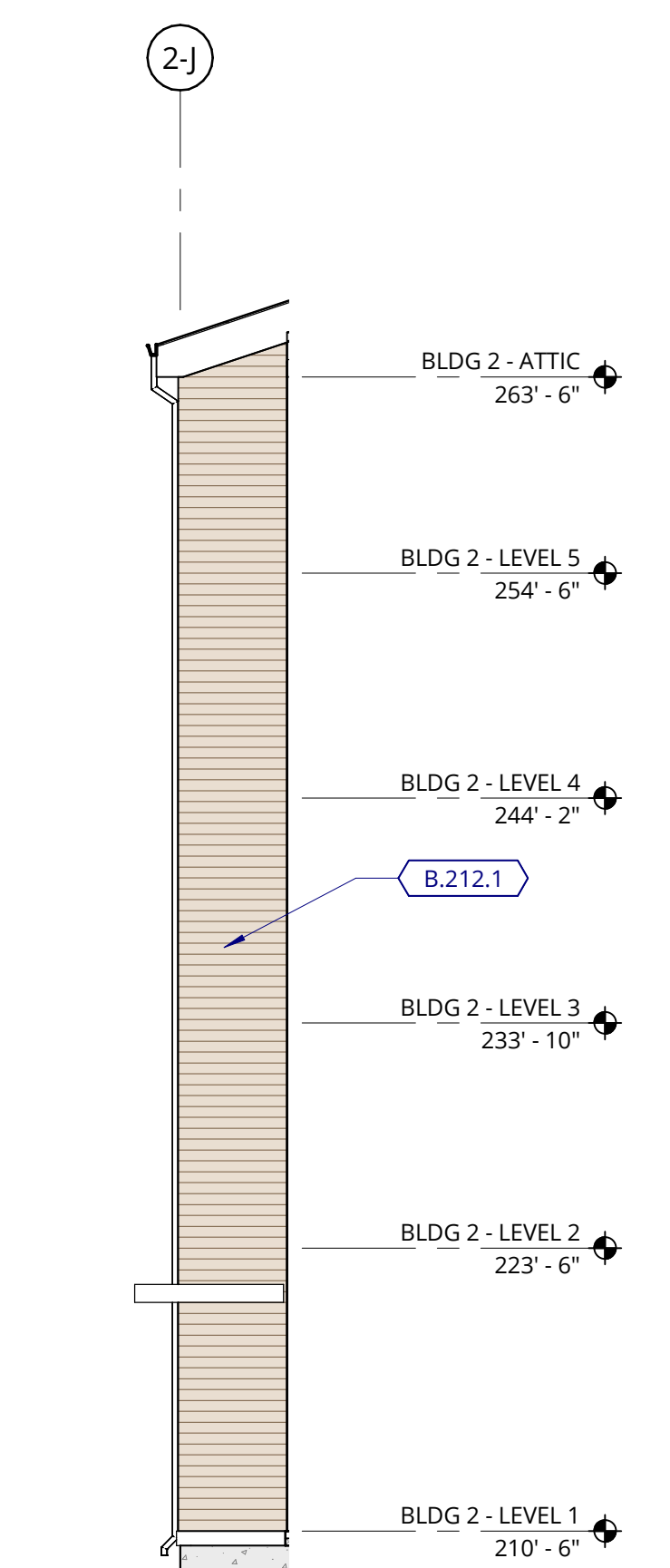
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1/8" = 1'-0"



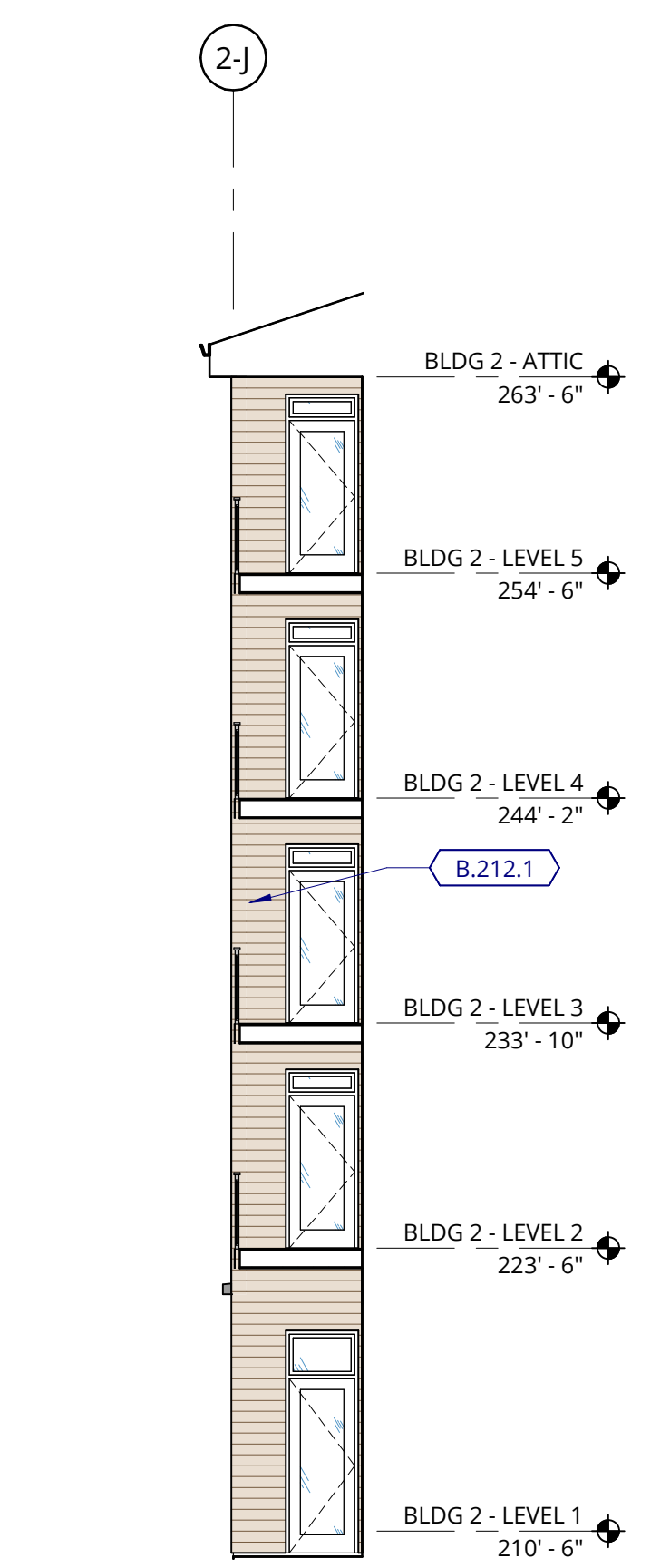
2 EAST ELEVATION
1/8" = 1'-0"



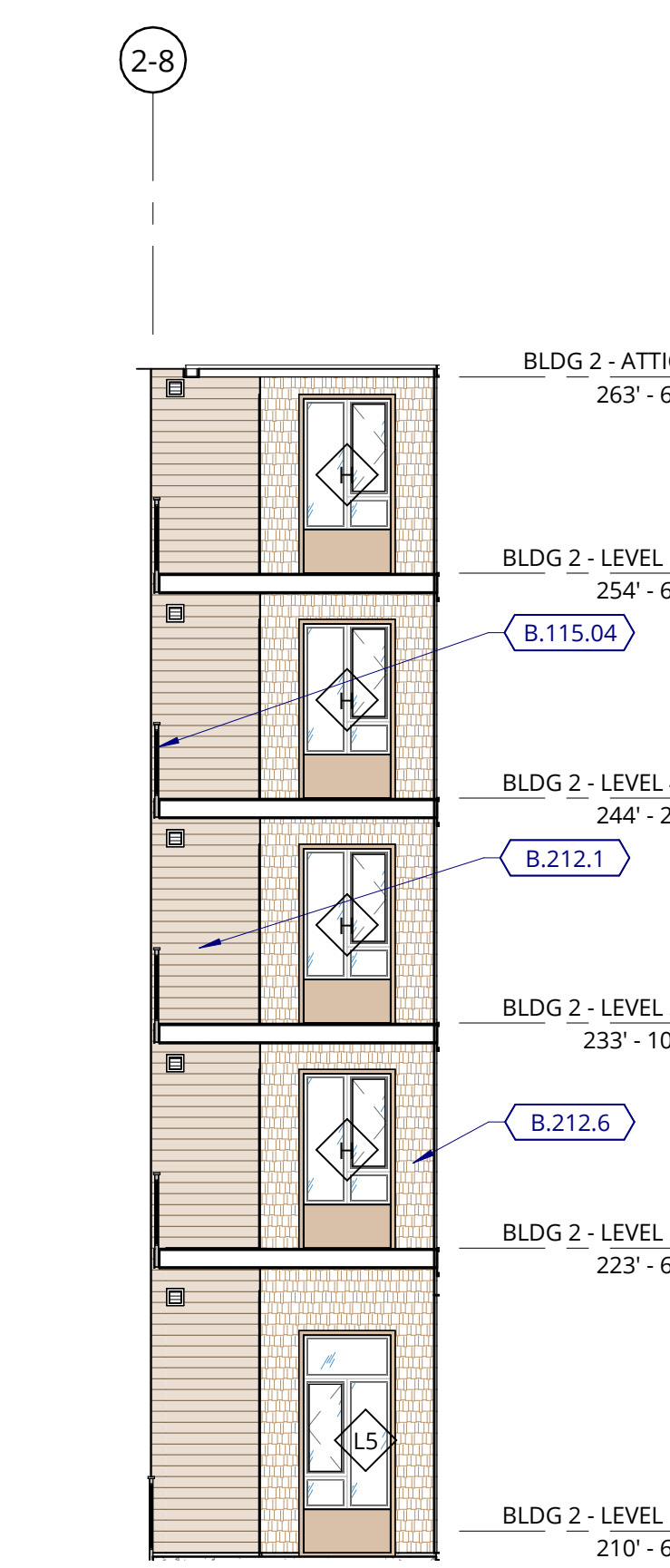
3 EAST ELEVATION
1/8" = 1'-0"



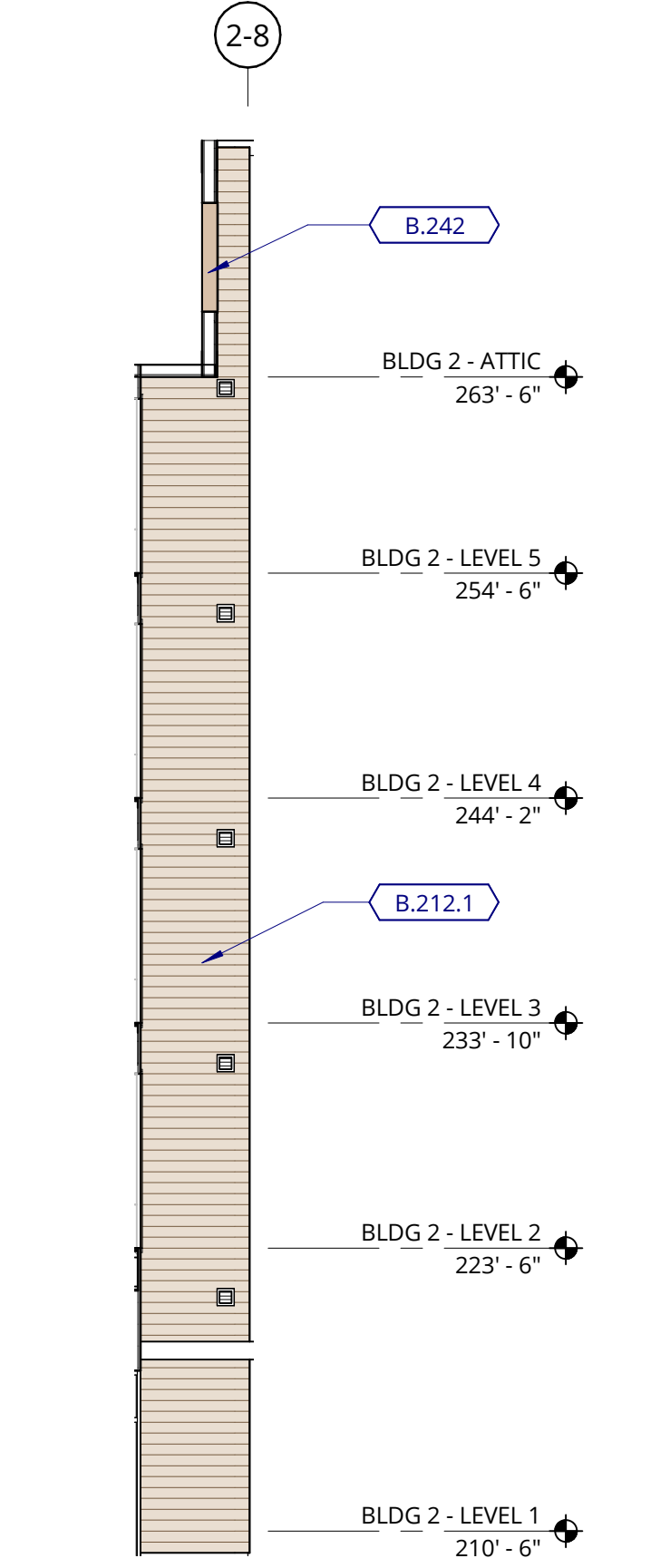
4 EAST ELEVATION
1/8" = 1'-0"



5 EAST ELEVATION
1/8" = 1'-0"



6 EAST ELEVATION
1/8" = 1'-0"



7 SOUTH ELEVATION
1/8" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

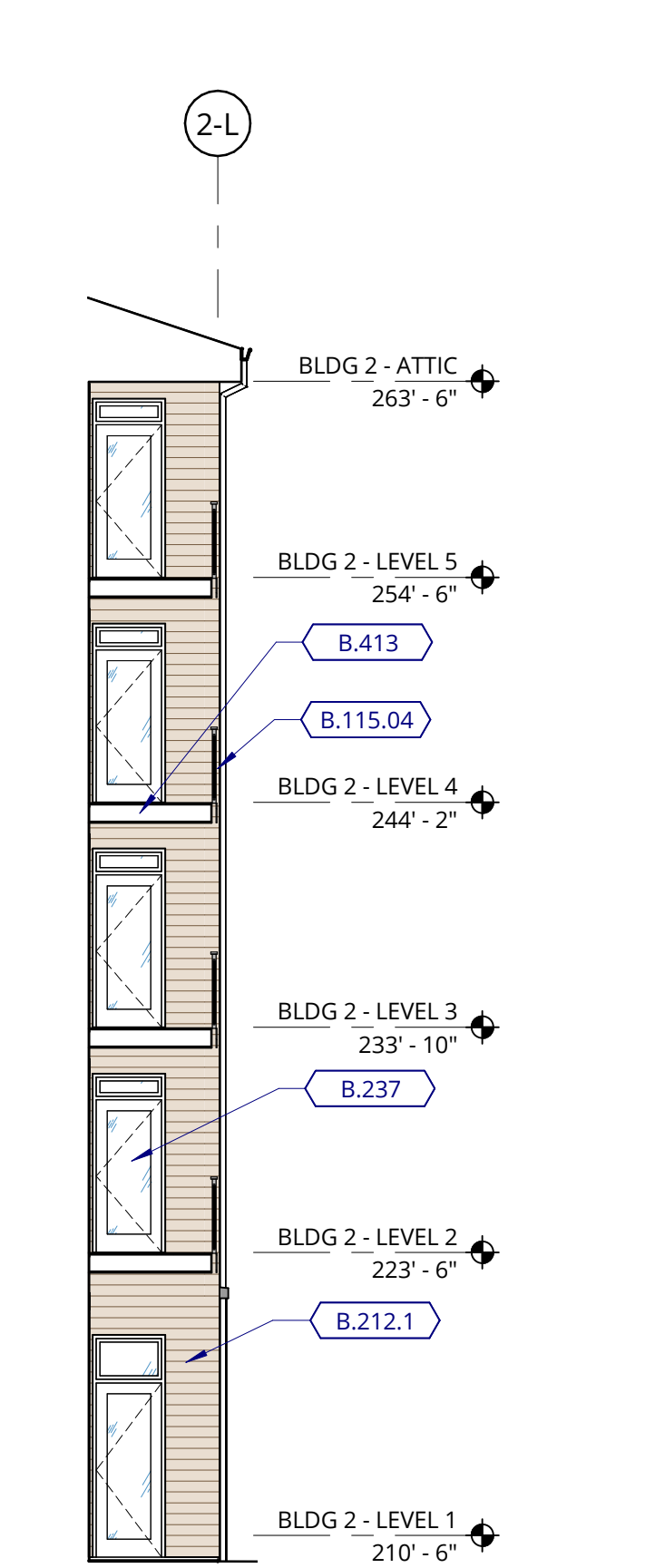
- REFER TO SHEET A3.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL (OR PROJECT DATUM).
- SEE DOOR SCHEDULE SHEET A12.01 FOR DOOR LOCATIONS AND TYPES.
- SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
- REFER TO A3.11 FOR EXTERIOR WALL TYPES.
- SEE SHEET A12.21 FOR WINDOW AND LOUVER INFORMATION.
- ALL FENESTRATION (STOREFRONT AND WINDOW WALLS) SHALL BE MFC CERTIFIED. PROVIDE LABEL CERTIFICATES TO THE ON-SITE CITY INSPECTOR AT THE PROJECT SITE PRIOR TO INSTALLATION.
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EXTERIOR MATERIAL LEGEND

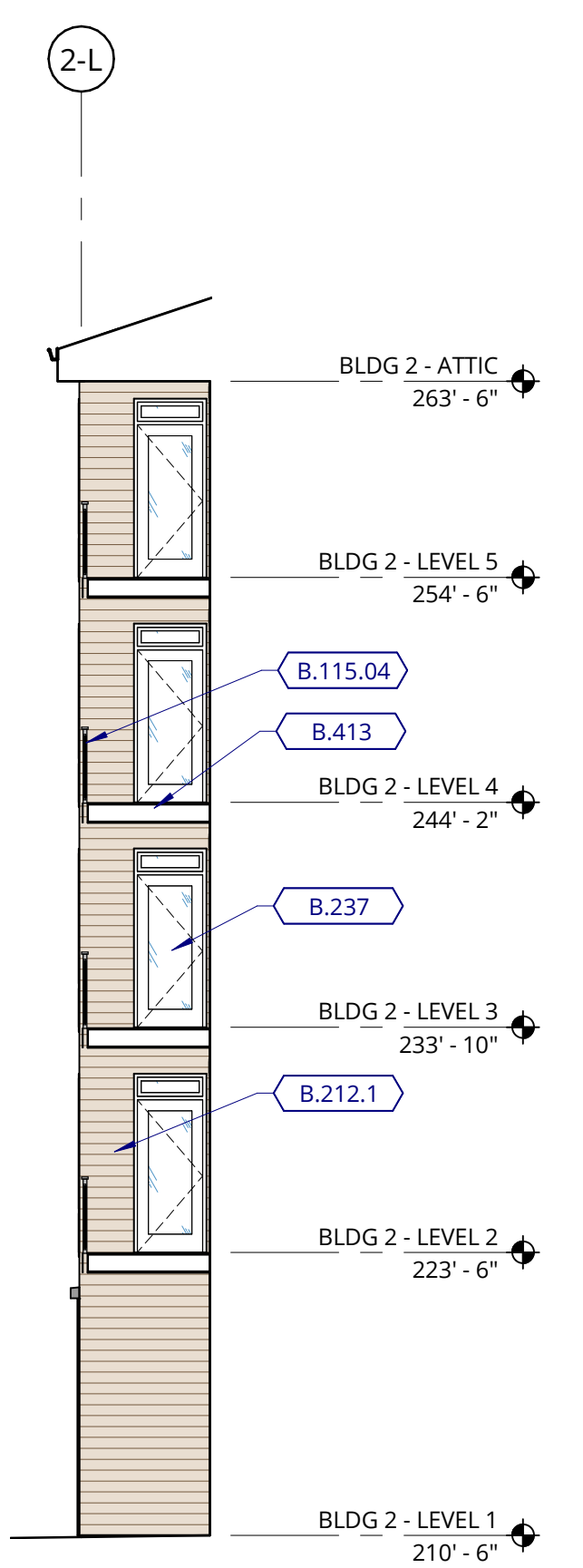
- FC SHAKE SIDING - PAINTED WALL ASSEMBLY L6.1, L6.2
- FC SHAKE SIDING - STAINED WALL ASSEMBLY L6.1, L6.2
- FC LAP SIDING - STAINED WALL ASSEMBLY K6.1, K6.2
- FC PANEL - STAINED WALL ASSEMBLY J6.1, J6.2, J6.3
- FC PANEL - PAINTED WALL ASSEMBLY J6.1, J6.2, J6.3

KEYNOTE LEGEND

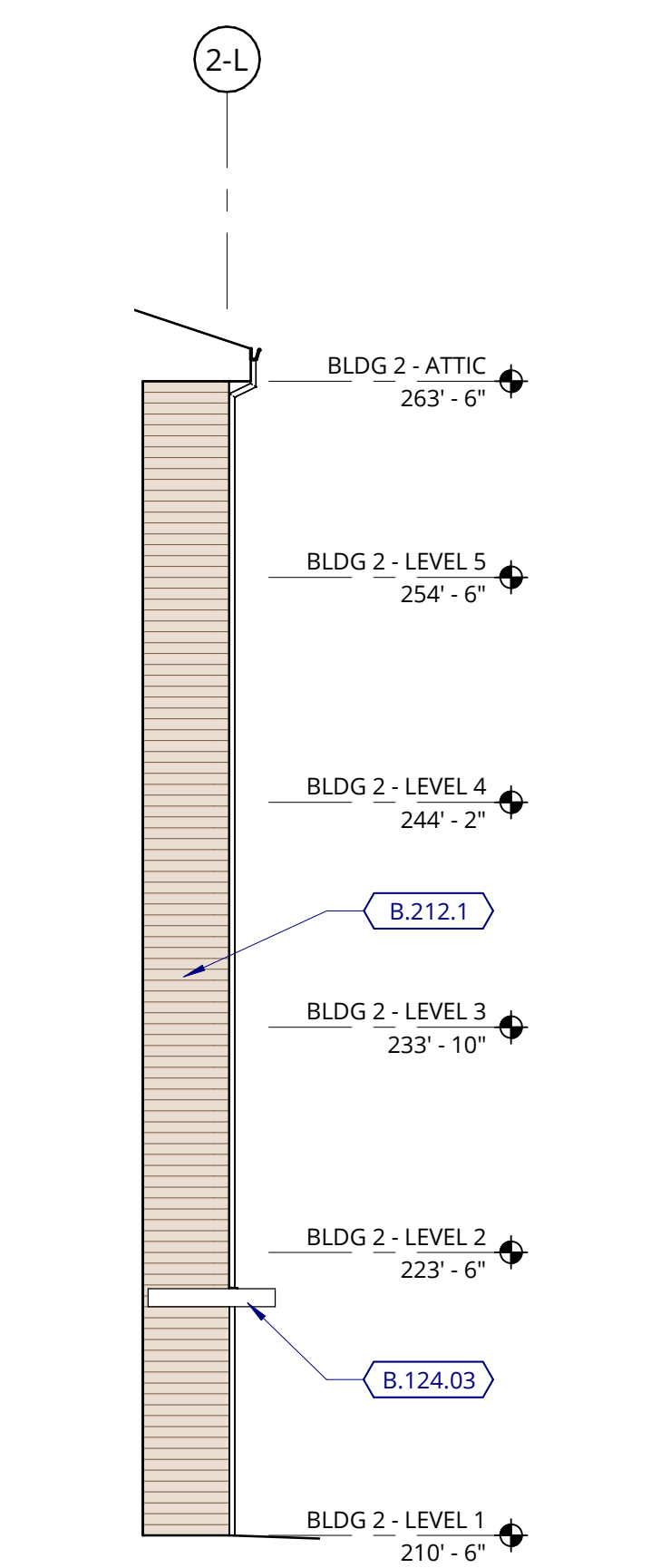
KEY VALUE	KEYNOTE TEXT
B.115.04	METAL RAILING
B.124.03	METAL FRAMED CANOPY
B.212.1	FIBER CEMENT LAP SIDING (STAINED)
B.212.6	FIBER CEMENT SHAKE SIDING (STAINED)
B.212.7	FIBER CEMENT SHAKE SIDING (PAINTED)
B.237	VINYL DOOR
B.242	ARCHITECTURAL LOUVER
B.411	PRE-FINISHED METAL DOWNSPOUT
B.413	WOOD FRAMED BALCONY WITH DECORATIVE SLAT SOFFIT (PAINTED), REFER TO ASSEMBLY 6P ON SHEET A0.31



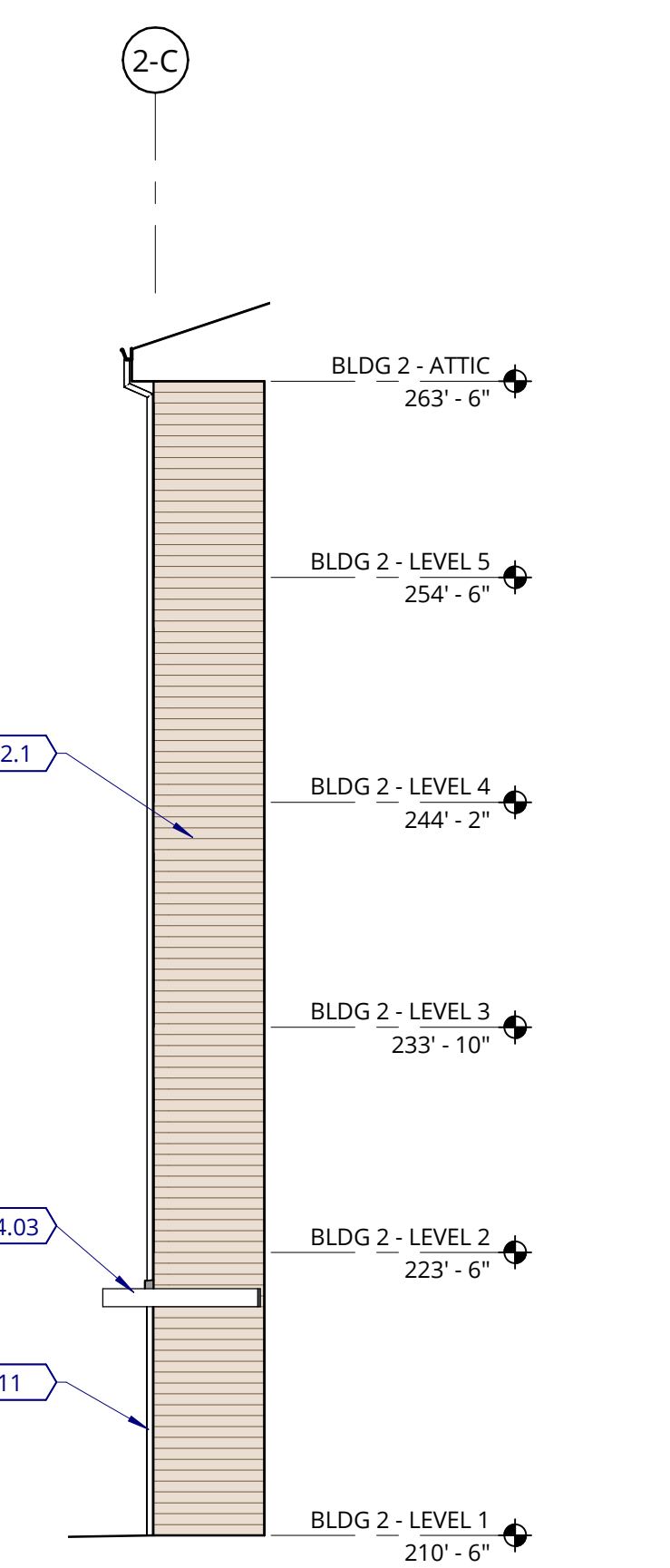
8 WEST ELEVATION
1/8" = 1'-0"



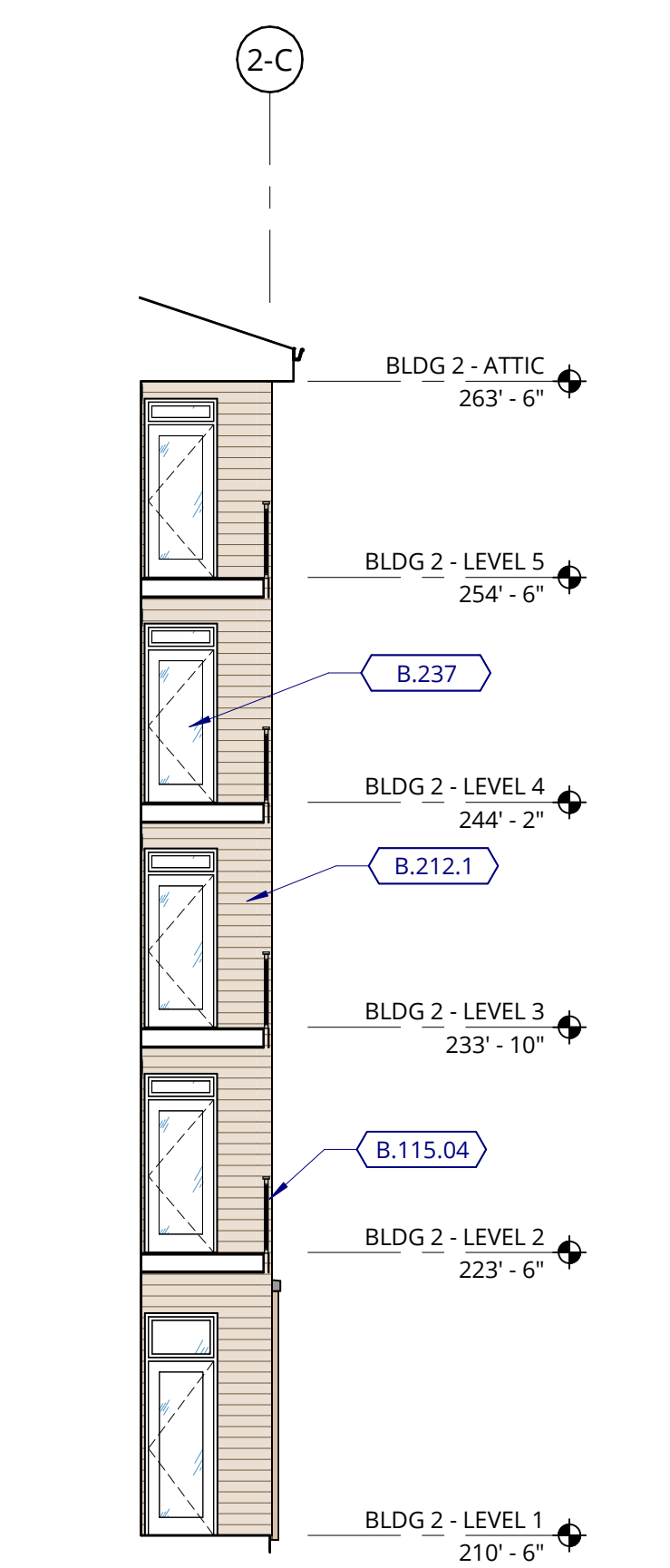
9 WEST ELEVATION
1/8" = 1'-0"



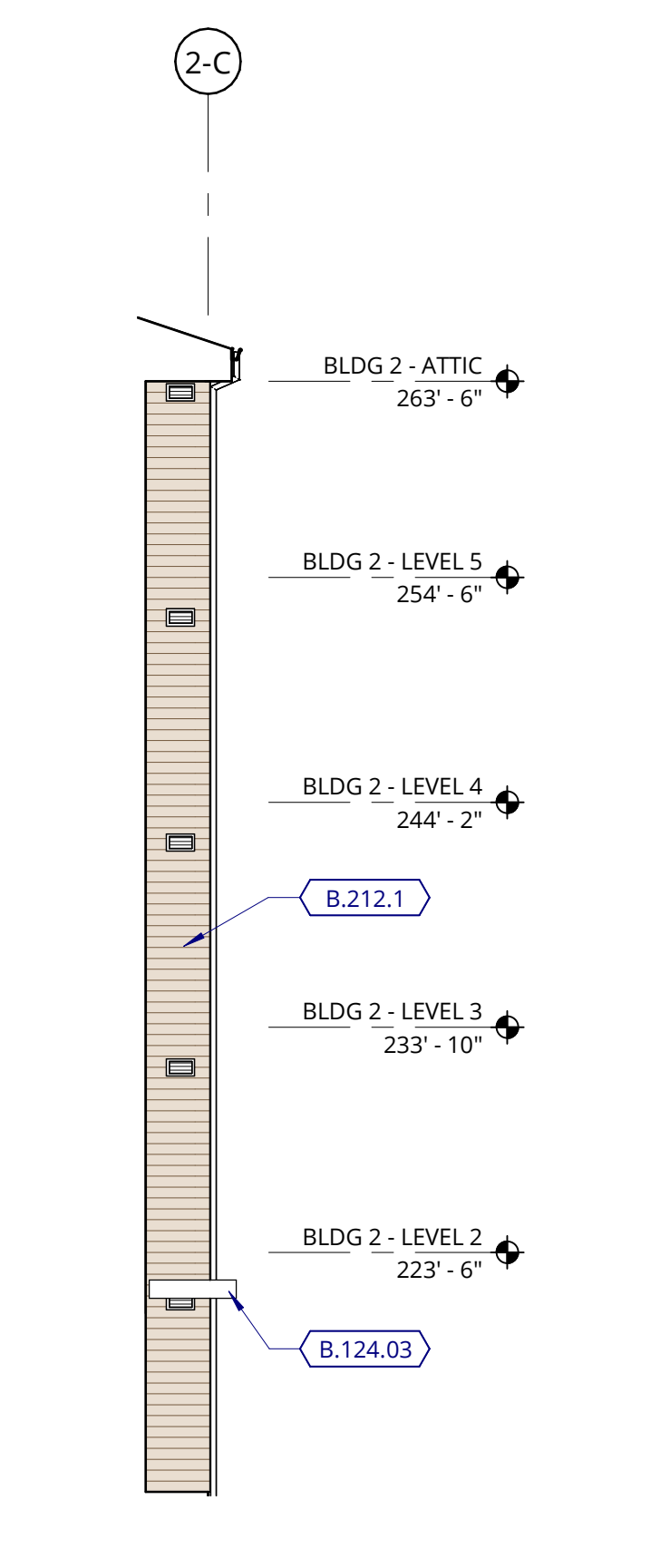
10 WEST ELEVATION
1/8" = 1'-0"



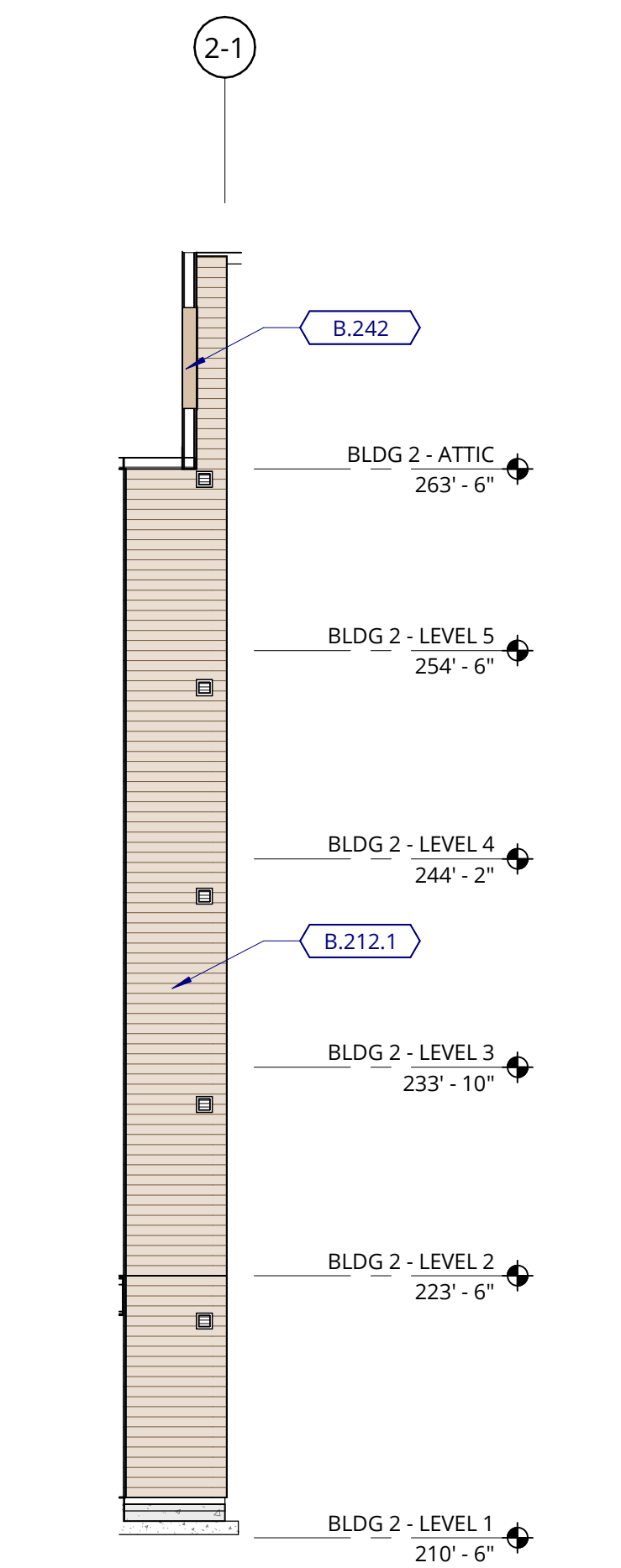
11 WEST ELEVATION
1/8" = 1'-0"



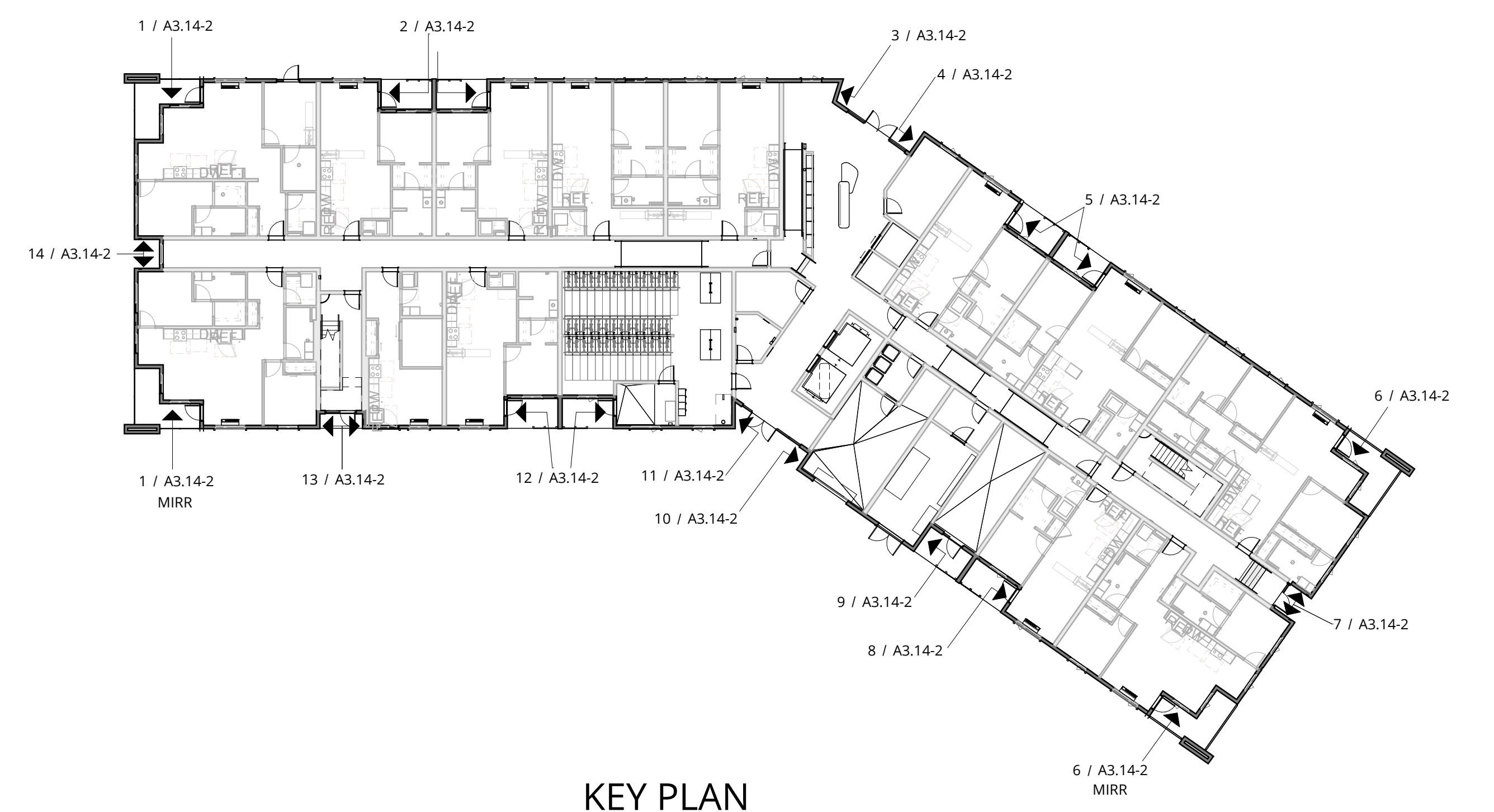
12 WEST ELEVATION
1/8" = 1'-0"



13 WEST ELEVATION
1/8" = 1'-0"



14 NORTH ELEVATION
1/8" = 1'-0"



KEY PLAN

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ELMONICA BUILDING 2
SW 170TH AND W BASELINE
REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

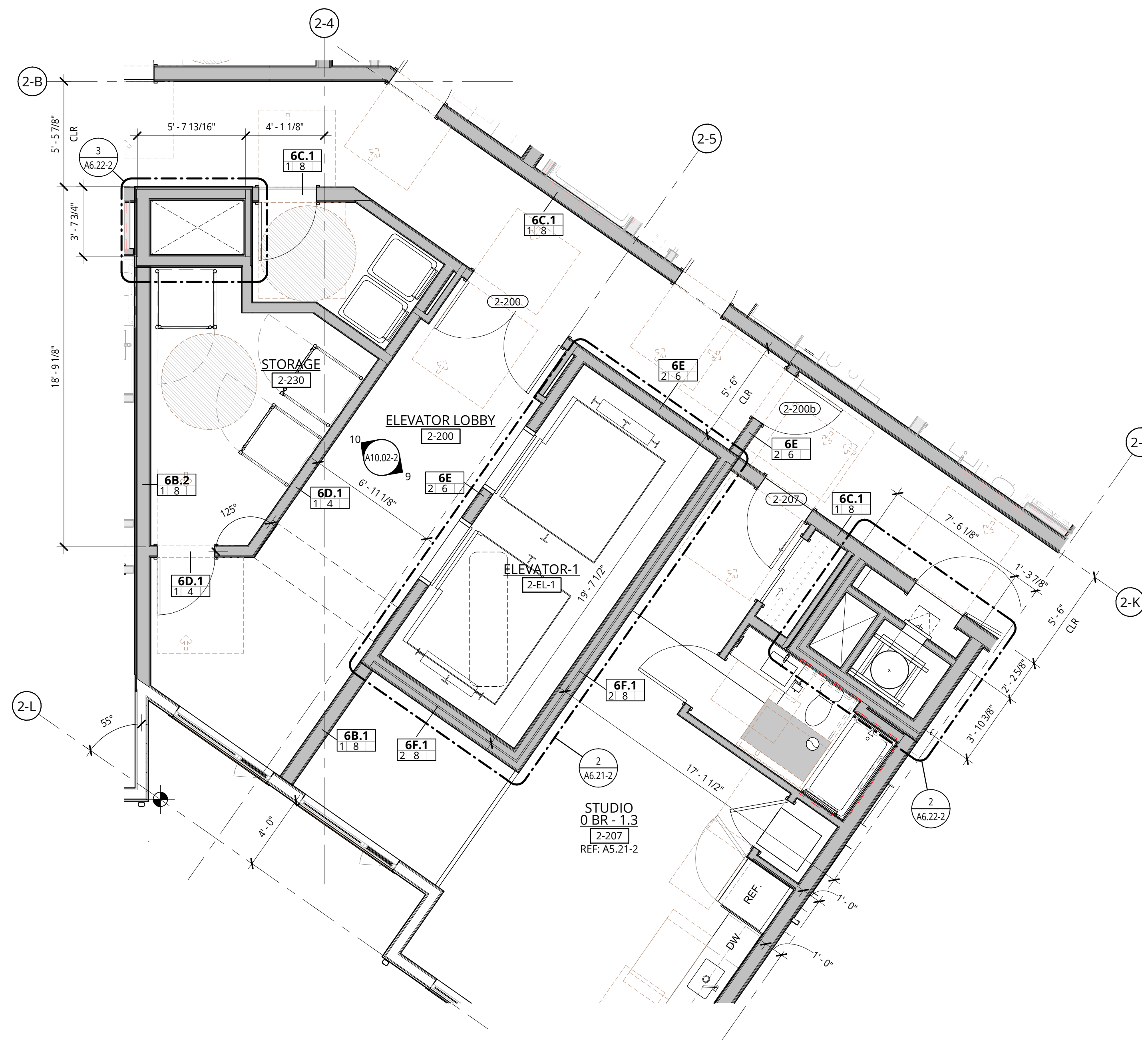
BUILDING ELEVATIONS

LAND USE

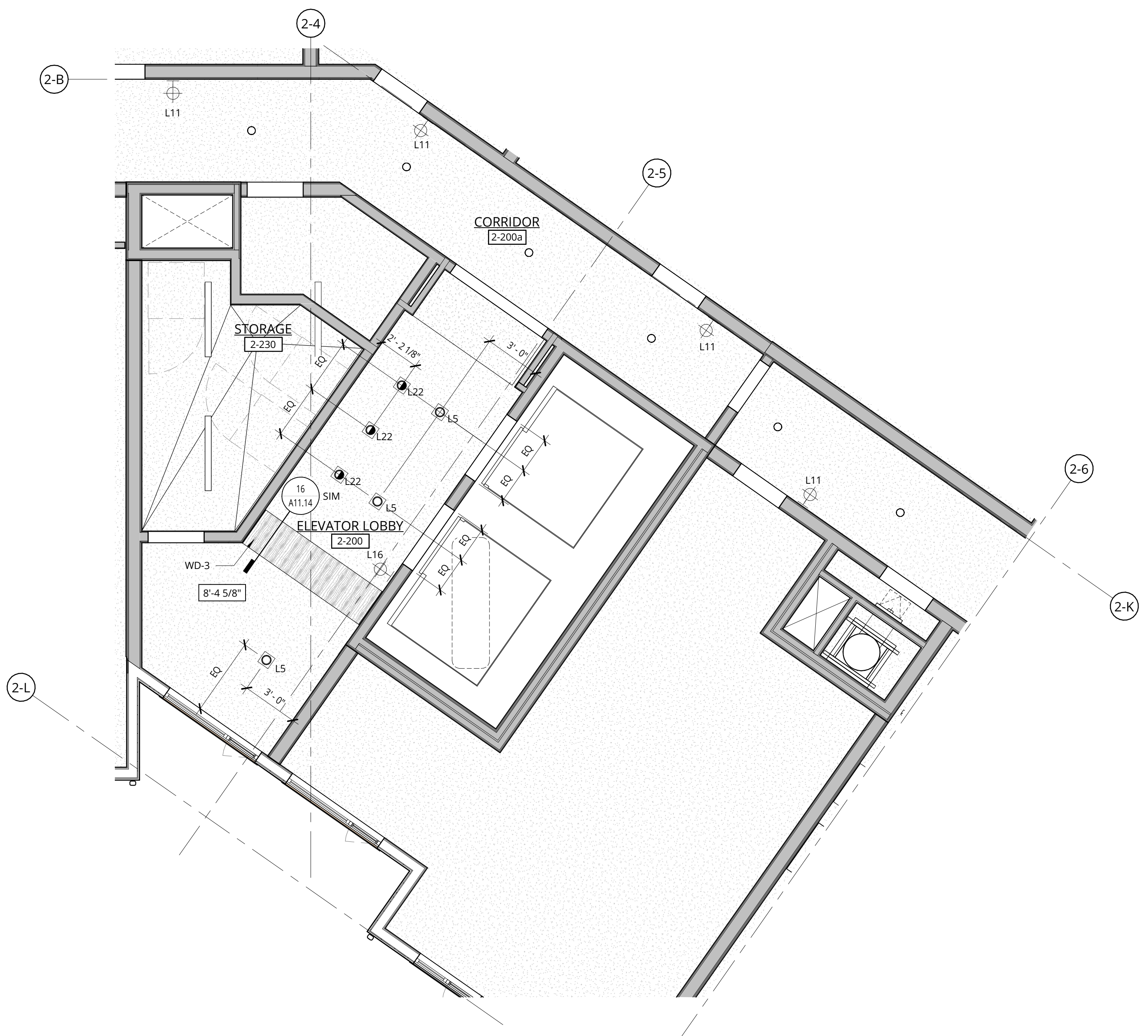
DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A3.14-2

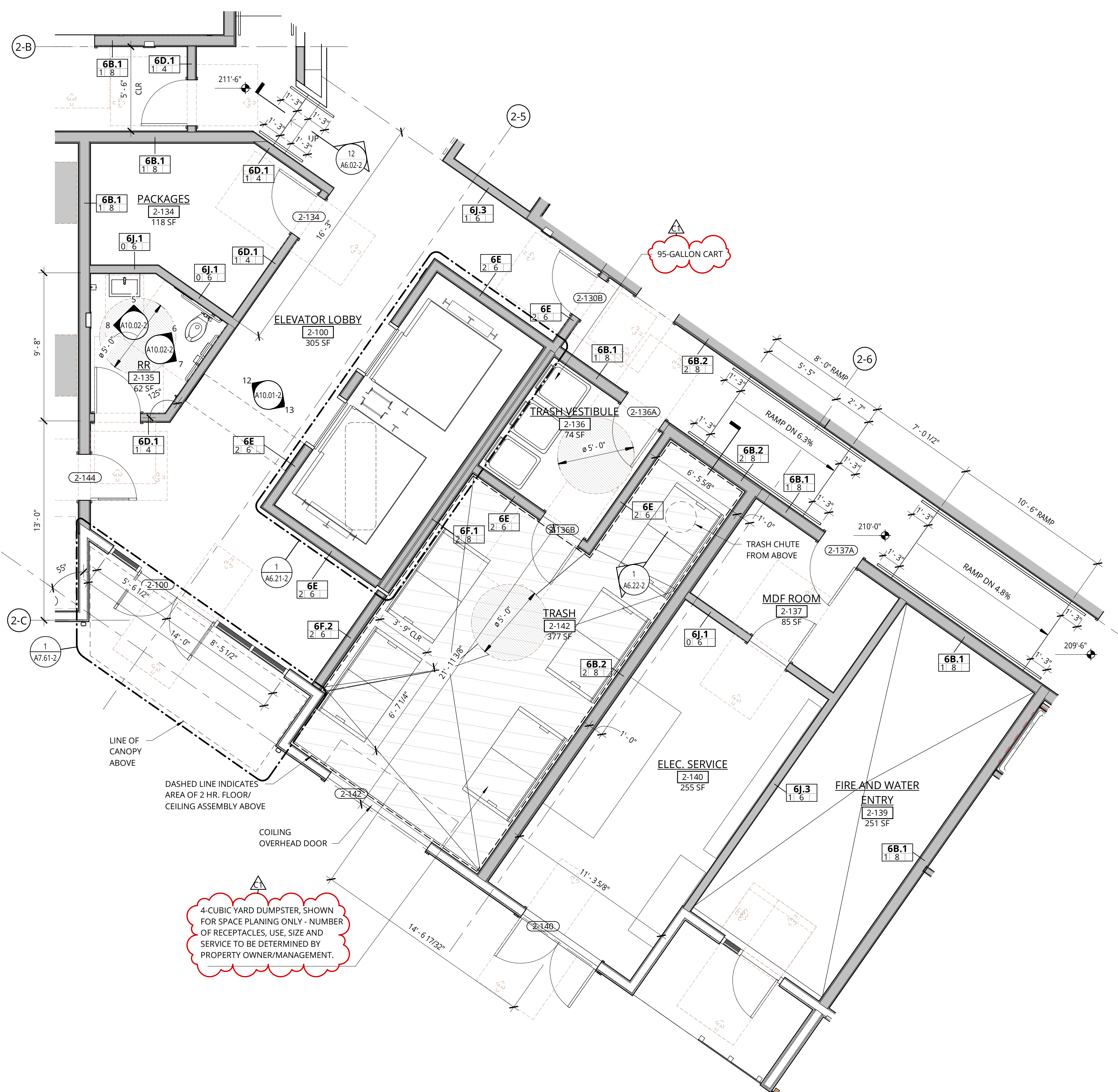
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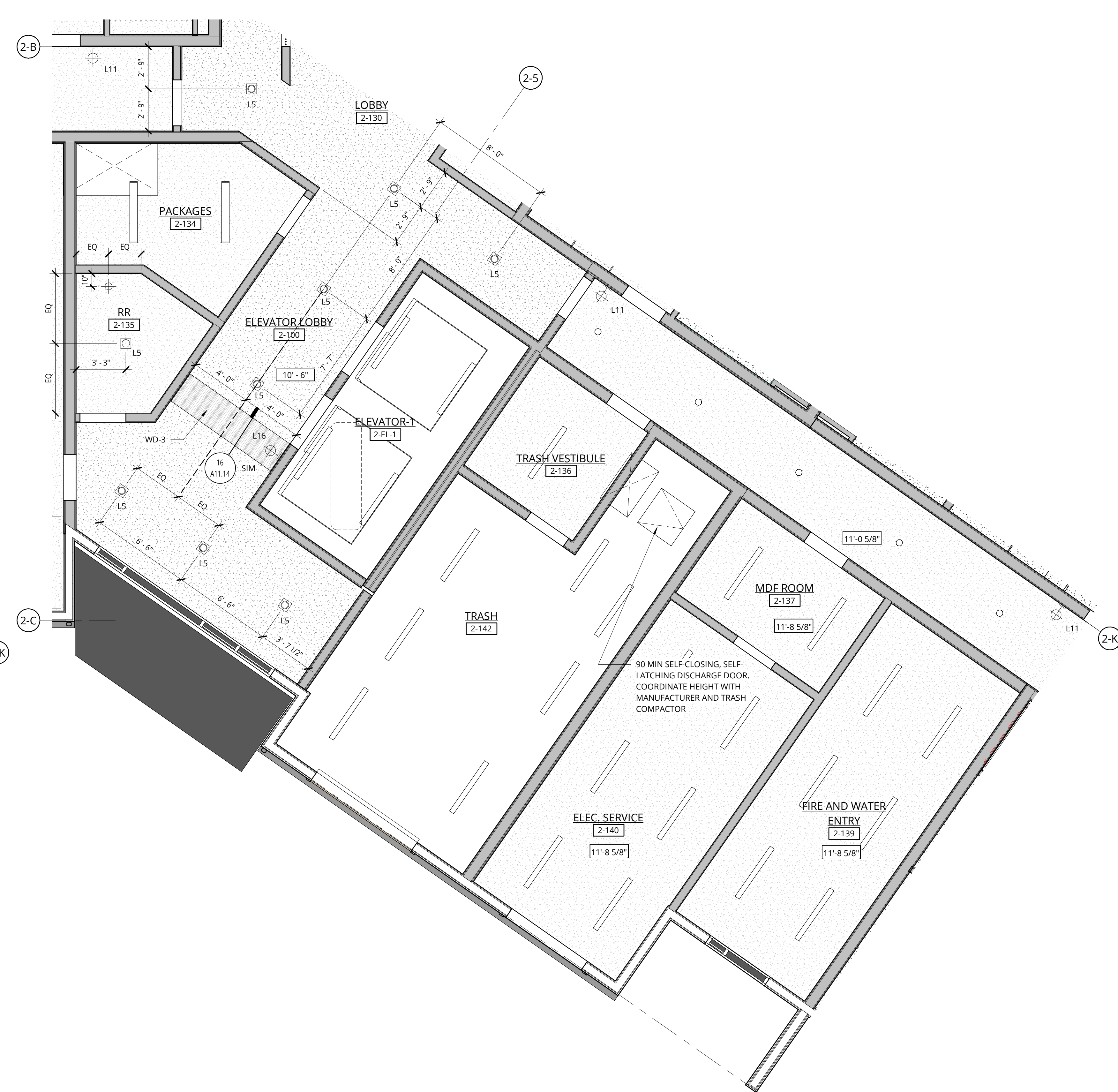
1 BUILDING 2 - LEVEL 2-5 - ENLARGED PLAN - COMMON AREA
1/4" = 1'-0"



2 BUILDING 2 - LEVEL 2-5 - ENLARGED RCP PLAN - COMMON AREA
1/4" = 1'-0"



3 BUILDING 2 - LEVEL 1 - ENLARGED PLAN - COMMON AREA
1/4" = 1'-0"



4 BUILDING 2 - LEVEL 1 - COMMON AREA - RCP
1/4" = 1'-0"

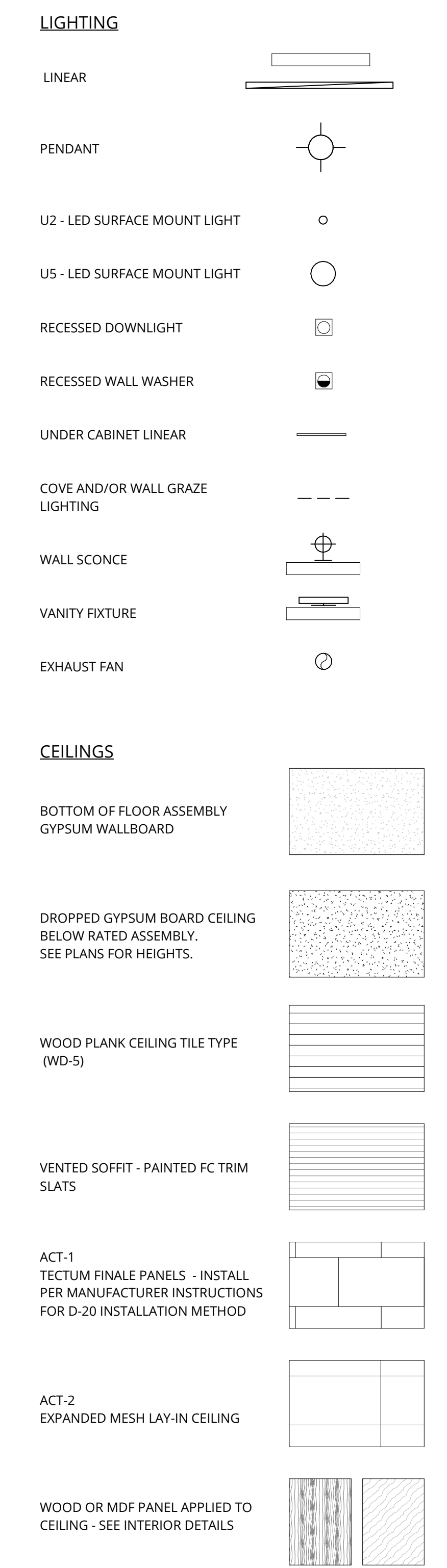
GENERAL NOTES - ENLARGED PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SLAB PLANS FOR CONCRETE AND MASONRY WALL LOCATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.
- SEE SHEETS **A0.21, A0.31** FOR WALL ASSEMBLY INFORMATION.
- SEE SHEETS BEGINNING ON A5.01 FOR TYPICAL ACCESSIBILITY CLEARANCES.
- PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING A5.01.
- DWELLING UNITS ARE TYPE B UNLESS NOTED OTHERWISE. PROVIDE REINFORCEMENT IN WALLS FOR FUTURE GRAB BAR INSTALLATION AT ALL WATER CLOSETS AND BATHTUB/SHOWERS IN ALL RESIDENTIAL UNITS. SEE SHEETS **A5.05 AND A5.06**.
- TYPE A UNIT CLOSETS:
 - BEDROOM CLOSETS: PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 36" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 72" AFF.
 - ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FOR ONE HALF OF THE CLOSET WIDTH AND ONE AT 36" AFF FOR THE REMAINING HALF.
- TYPE B UNIT BEDROOM CLOSETS:
 - PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 72" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF, FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 36" AFF.
 - TYPE B UNIT ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FULL WIDTH.
- ALIGN CENTER OF CLOSET DOORS WITH THE CENTER OF CLOSET IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.
- ALL REACH-UP RESIDENTIAL CLOSETS ARE 24" DEEP INSIDE CLEAR (FACE OF WALL TO FACE OF WALL) UNLESS NOTED OTHERWISE.
- WING WALLS ADJACENT TO CASEWORK ARE 2'-2" LONG, UNLESS NOTED OTHERWISE.
- WING WALLS OR FURRING WALLS ADJACENT TO BATHTUBS OR SHOWERS EXTEND A MAXIMUM OF 1'-1/2" BEYOND FACE OF SHIRT OR CURB, UNLESS NOTED OTHERWISE SUCH THAT TOTAL OVERLAP INTO A ACCESSIBILITY CLEARANCE (INCLUDING BASE) IS 2" OR LESS.
- CONFORM TO MOUNTING HEIGHT REQUIREMENTS SHOWN ON **19A5.01**.
- PROVIDE CANE DETECTION IN ACCORDANCE WITH DETAIL **3A45** OR BELOW OBJECTS WHICH PROJECT BEYOND THE LIMITS SHOWN IN DETAIL **3A5.01**.
- SEE VANITY ELEVATIONS ON SHEETS **A10.21** AND **A10.22** FOR ACCESSIBLE OUTLET AND SWITCH LOCATIONS.
- SEE ELEVATIONS ON SHEETS **A10.11, A10.12** AND **A10.13** FOR ACCESSIBLE OUTLET AND SWITCH LOCATIONS.
- PROVIDE FLOORING FOR WALL MOUNTED BIKE RACK.
- PROVIDE ADDITIONAL LAYERS OF GYP AS REQUIRED TO ALIGN FINISHES.
- PROVIDE OUTLET AT SIDEWALL, 6" MAX FROM THE EDGE OF THE COUNTER.

GENERAL NOTES REFLECTED CEILING PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- ADJUST LIGHT GAUGE METAL FRAMING SIZE, GAUGE AND SPACING AT SOFFITS AND CEILINGS TO MEET MANUFACTURER'S PUBLISHED SPAN TABLES, SPECIFIED DEFLECTION CRITERIA, AND TO SUPPORT BOTH GRAVITY AND LATERAL LOADS.
- CEILING AND SOFFIT HEIGHTS ARE MEASURED VERTICALLY FROM THE FINISHED FACE OF CEILING OR SOFFIT TO FLOOR LEVEL, UNLESS NOTED OTHERWISE.
- LOCATE SPRINKLER HEADS, HVAC GRILLS, TRIM, SMOKE DETECTORS, DIS ANTENNAS, RECESSED LIGHT FIXTURES AND OTHER CEILING MOUNTED DEVICES IN THE CENTER OF ACOUSTICAL CEILING TILES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
- ALIGN HVAC GRILLS, DIFFUSERS AND OTHER TRIM WITH SPRINKLER HEADS, SMOKE DETECTORS, SPEAKERS AND OTHER CEILING MOUNTED DEVICES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
- CENTER LUMINAIRES (OR GROUPS OF LUMINAIRES) WITHIN THE ROOM OR SPACE, AND CENTER FIXTURES WITHIN CEILING TILE PANELS, UNLESS DIMENSIONED OTHERWISE.
- PROVIDE CONTROL JOINTS IN GYPSUM WALLBOARD SOFFITS AND CEILINGS AS INDICATED, OR AT MAX 30" ON CENTER EACH WAY IF NOT INDICATED.
- REFER TO MECHANICAL DRAWINGS FOR VENTING AND DUCTING LOCATIONS.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE TYPES, LIGHTING SWITCHING LOCATIONS, LOW VOLTAGE DESIGN, AND RECEPTACLE LOCATIONS.
- FIRE STOP ALL PENETRATIONS THROUGH RATED WALLS AND CEILINGS. PROVIDE FIRE DAMPERS AND/OR FIRE SMOKE DAMPERS AT OPENINGS. REFER TO MECHANICAL DRAWINGS.
- PROVIDE ACCESS PANELS (FIRE RATED WHERE REQUIRED) AT ALL NECESSARY LOCATIONS.
- ALL WALLS ARE FULL HEIGHT TO STRUCTURE ABOVE UNLESS OTHERWISE NOTED. PROVIDE FIRE STOPPING AND ACOUSTIC SEALANT AT RATED WALLS. SEE FIRE/LIFE SAFETY SHEETS BEGINNING ON G2.01 FOR ADDITIONAL INFORMATION.
- PROVIDE SEISMIC JOINTS IN ALL CEILINGS AS REQUIRED BY THE MOST STRINGENT APPLICABLE CODE WHETHER INDICATED ON THE DRAWINGS OR NOT. FOR LOCATIONS NOT SHOWN, REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
- TYPICAL GYPSUM WALLBOARD ON CEILINGS IS 5/8" INCH UNLESS NOTED OTHERWISE.
- REFER TO INDIVIDUAL ENLARGED UNIT PLANS FOR CEILING INFORMATION WITHIN RESIDENTIAL UNITS.
- DECORATIVE LIGHTING WITH TAGS IS FOR AMENITY AREAS. REFER TO A5 SERIES FOR GENERAL AND BACK OF HOUSE LIGHTING.
- REFER TO ROOM FINISH SCHEDULE FOR ROLLERSHADE LOCATIONS. ALL EXTERIOR WINDOWS WITHIN THAT ROOM ARE TO RECEIVE A ROLLERSHADE, U.N.O.

RCP LEGEND



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ELMONICA BUILDING 2
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

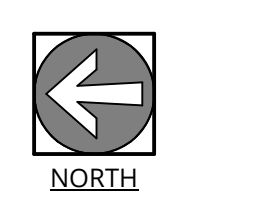
REVISION	DATE	REASON FOR ISSUE
C1	5/25/2023	Land Use Revision 3

ENLARGED PLANS - COMMON AREAS

LAND USE

DATE	PROJECT NUMBER
5.25.2023	215390

SHEET NUMBER
A5.12-2

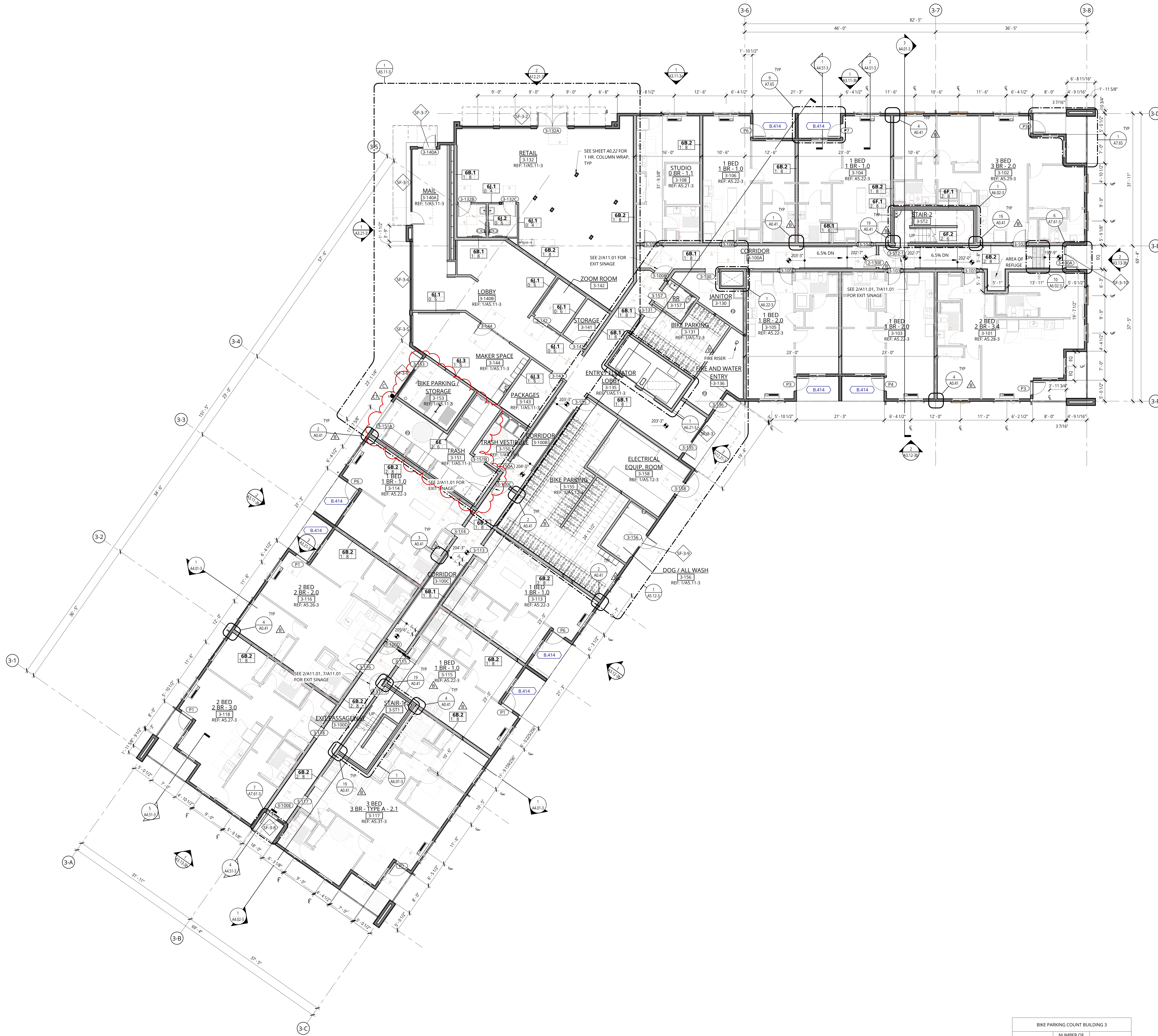


GENERAL NOTES - FLOOR PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
- SEE SHEET A0.41 FOR TYPICAL FRAMING AND ACOUSTICAL DETAILS.
- SEE FIRE SAFETY SHEETS BEGINNING ON 62.21 FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
- REFER TO ENLARGED UNIT PLANS (A5.21 SERIES) FOR DETAILED INFORMATION WITHIN EACH RESIDENTIAL UNIT.
- REFER TO STRUCTURAL DRAWINGS FOR COLUMNS, SHEAR WALL AND BEAM SIZES.
- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING A5.01. REFER TO SUB LAYOUT PLANS FOR CONCRETE AND MASONRY WALL LOCATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.
- SEE ENLARGED PLANS FOR DETAILED DIMENSIONS, WALL TAGS AND DOOR TAGS.
- SEE SHEETS BEGINNING ON A5.01 FOR TYPICAL ACCESSIBILITY CLEARANCES.
- WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR CEILING OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE. SUCH IDENTIFICATION SHALL:
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 - INCLUDE LETTERING NOT LESS THAN 3/8 INCHES IN HEIGHT WITH A MINIMUM 3/8 INCH STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORKING 'FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS' OR OTHER WORKING.
- REFER TO SHEETS 62.12, 62.13, 62.14 AND 62.15 TO REFERENCE THE SLOPE AND CROSS SLOPE FOR ALL MEANS OF EGRESS EXIT DISCHARGE AND CURB HEIGHTS.

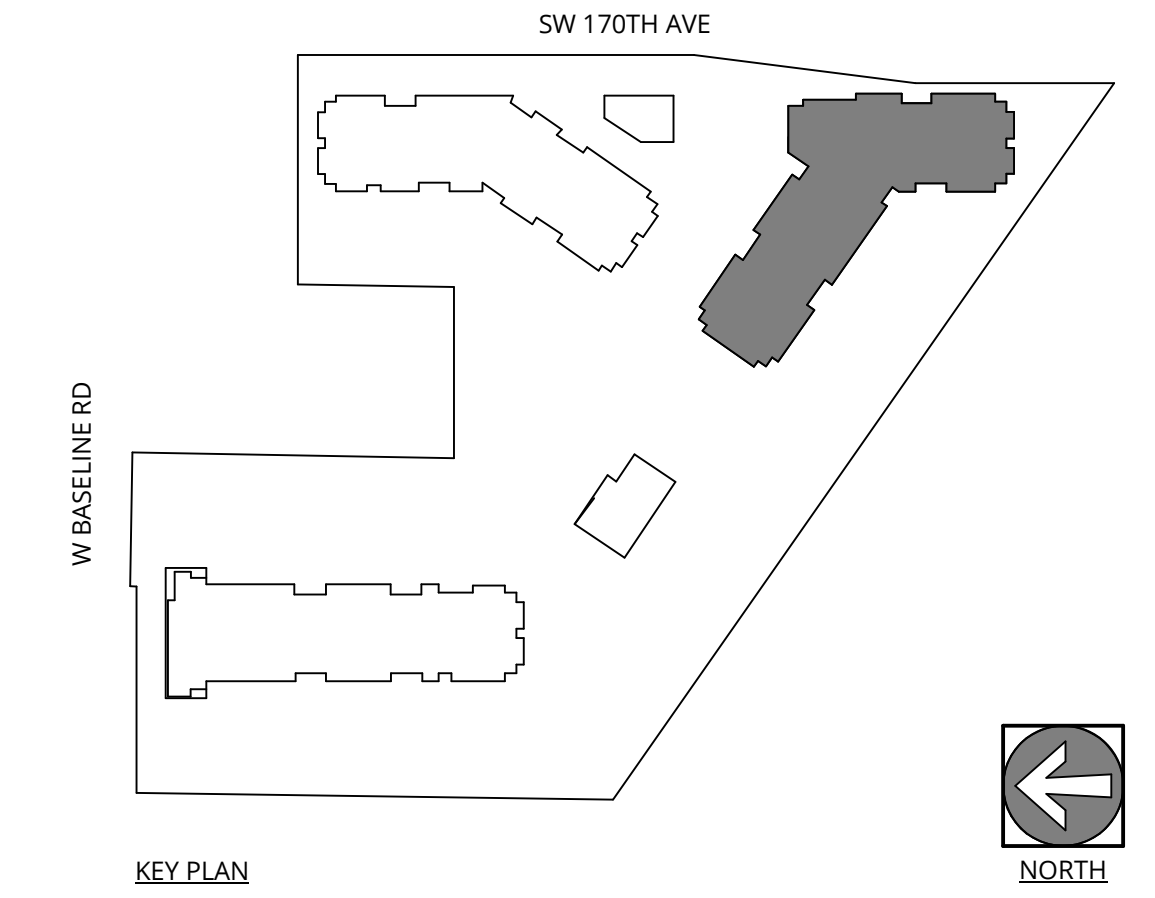
KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
B.414	SEE LANDSCAPE DRAWINGS FOR SCREENING ELEMENT AT LEVEL 1 PATIO



1 BUILDING 3 - LEVEL 1 - PLAN
1/8" = 1'-0"

BIKE PARKING COUNT BUILDING 3		
BIKE RACK COUNT	NUMBER OF BIKES PARKED	Description
BIKE ROOM LEVEL 1		
1	2	Hoop Rack
72	72	Wall Rack
73	74	
RETAIL LEVEL 1		
1	1	Wall Rack
UNIT POTENTIAL LEVELS 1-5		
70	70	Wall Rack
70		
144		



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ELMONICA BUILDING 3
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2
C1	5/25/2023	Land Use Revision 3

LEVEL 1 FLOOR PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A2.01-3

GENERAL NOTES - FLOOR PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
- SEE SHEET A0.41 FOR TYPICAL FRAMING AND ACOUSTICAL DETAILS.
- SEE FIRE/SAFE SHEETS BEGINNING ON 62.21 FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
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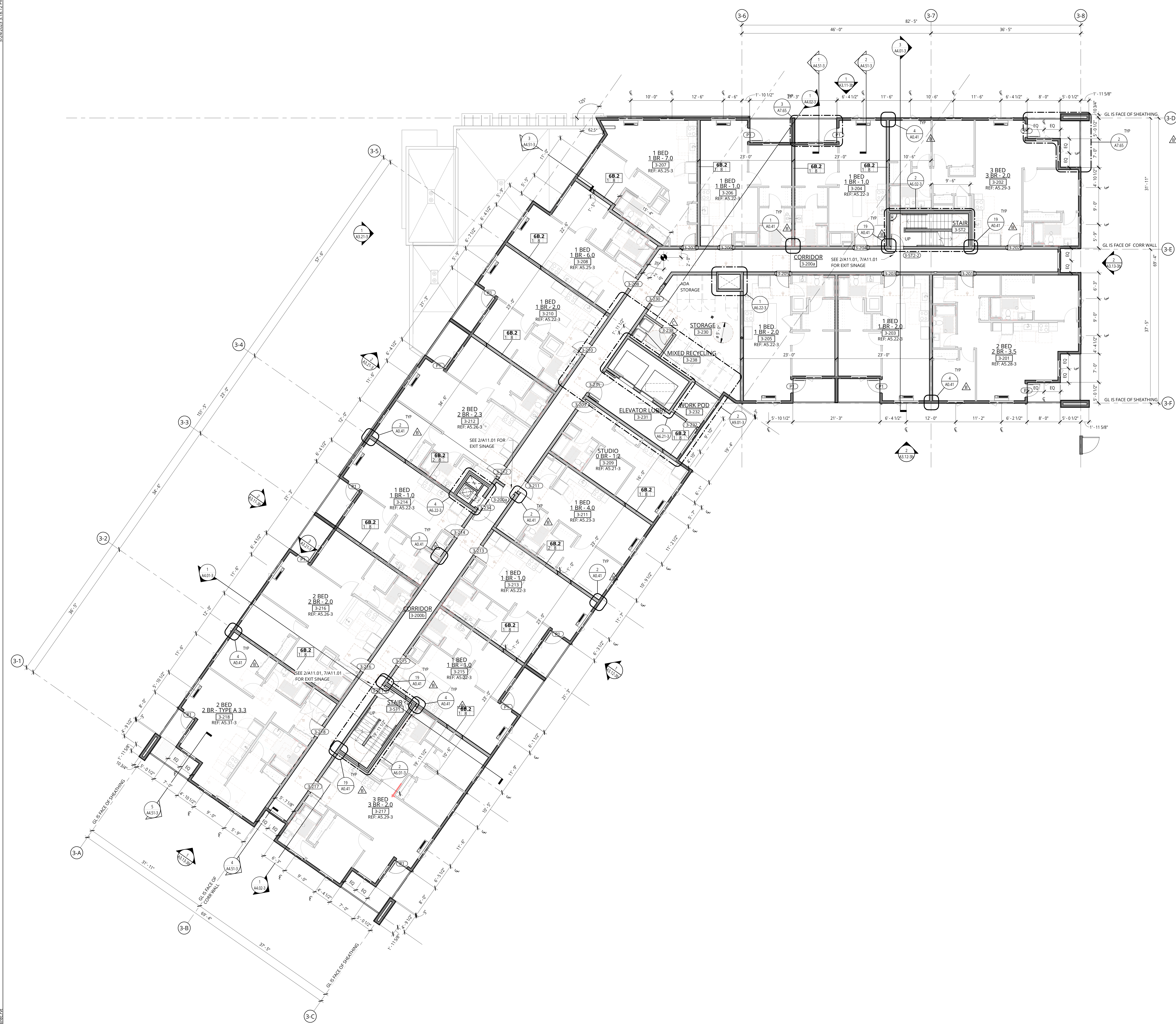


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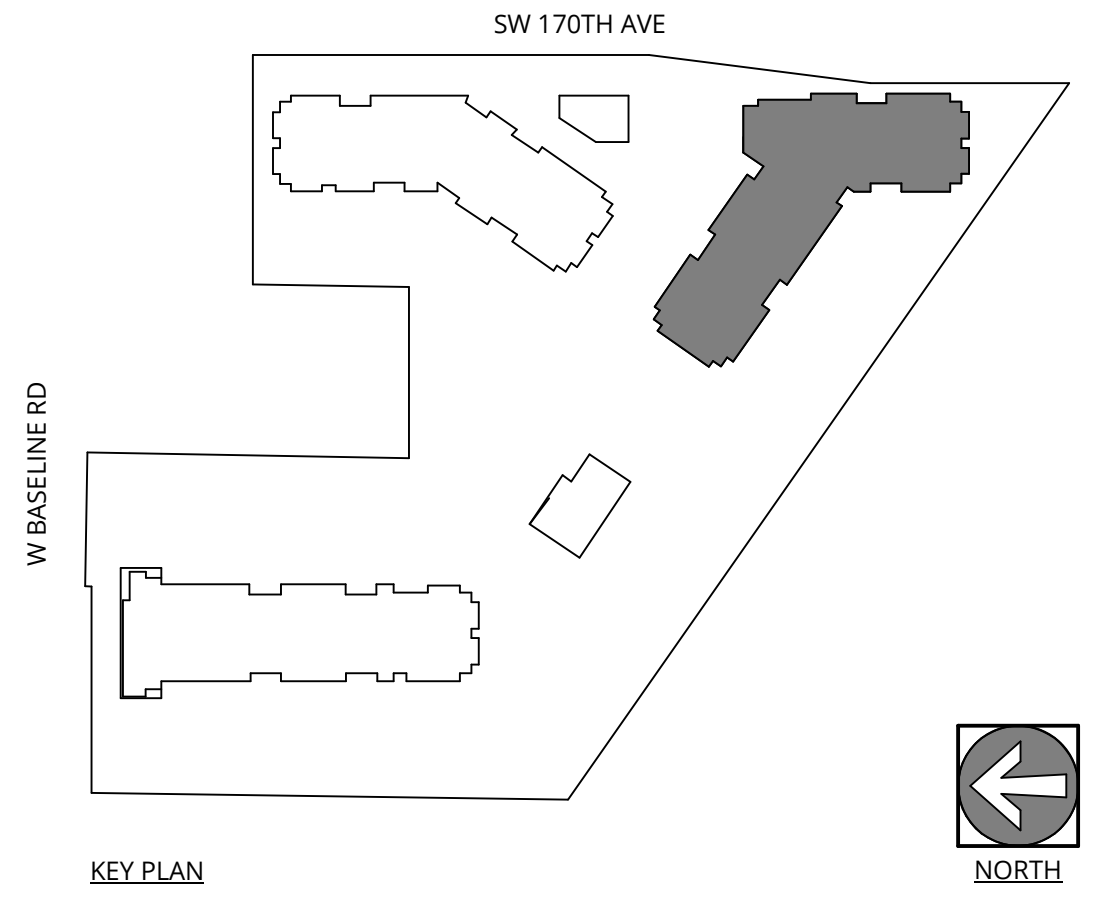
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1 BUILDING 3 - LEVEL 2 - PLAN
1/8" = 1'-0"



ELMONICA BUILDING 3
 SW 170TH AND W BASELINE
 REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

LEVEL 2 FLOOR PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
 SHEET NUMBER:

A2.02-3

GENERAL NOTES - FLOOR PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
- SEE SHEET A0.41 FOR TYPICAL FRAMING AND ACOUSTICAL DETAILS.
- SEE FIRE/SAFE SHEETS BEGINNING ON 02.21 FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
- REFER TO ENLARGED UNIT PLANS (A5.21 SERIES) FOR DETAILED INFORMATION WITHIN EACH RESIDENTIAL UNIT.
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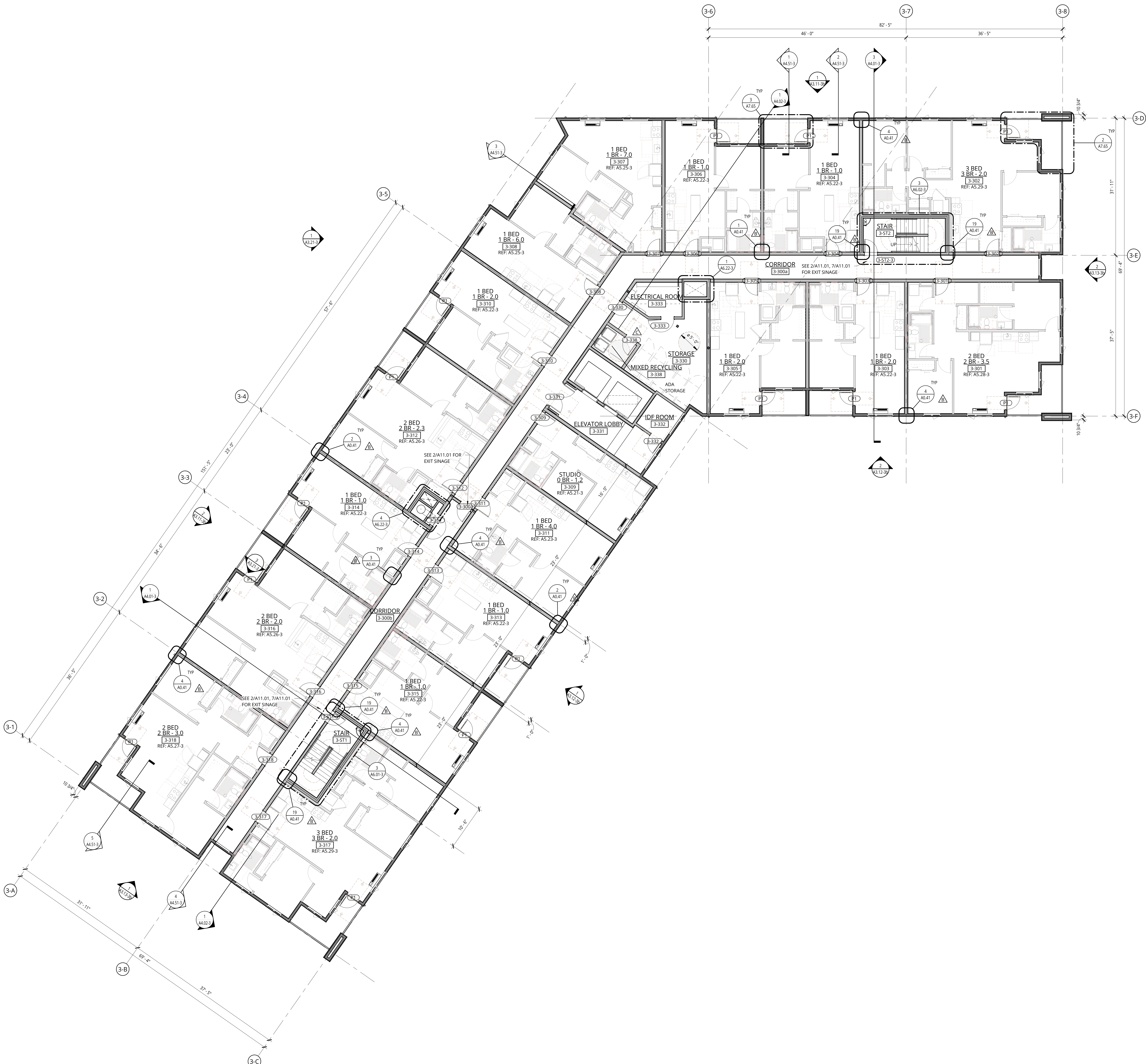


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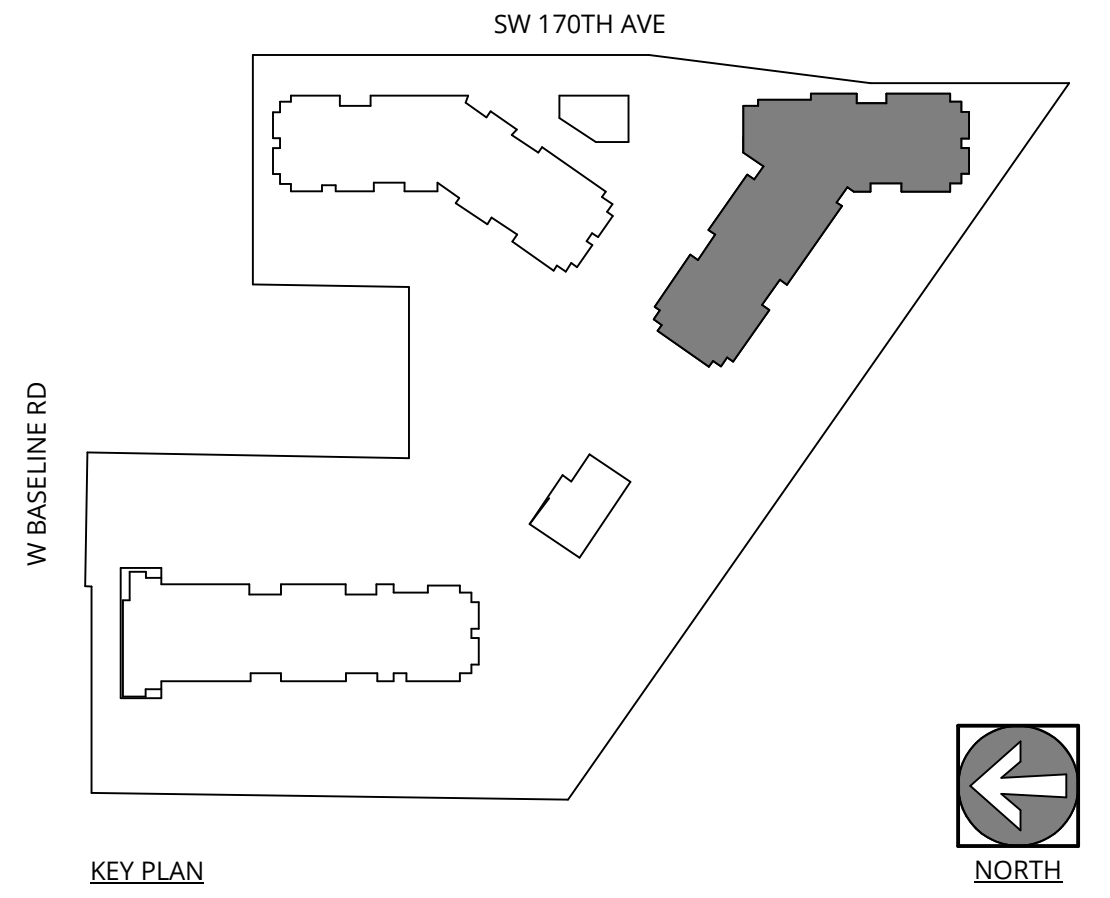
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1 BUILDING 3 - LEVEL 3 - PLAN
1/8" = 1'-0"



ELMONICA BUILDING 3
 SW 170TH AND W BASELINE
 REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

LEVEL 3 FLOOR PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
 SHEET NUMBER:

A2.03-3

GENERAL NOTES - FLOOR PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
- SEE SHEET A0.41 FOR TYPICAL FRAMING AND ACOUSTICAL DETAILS.
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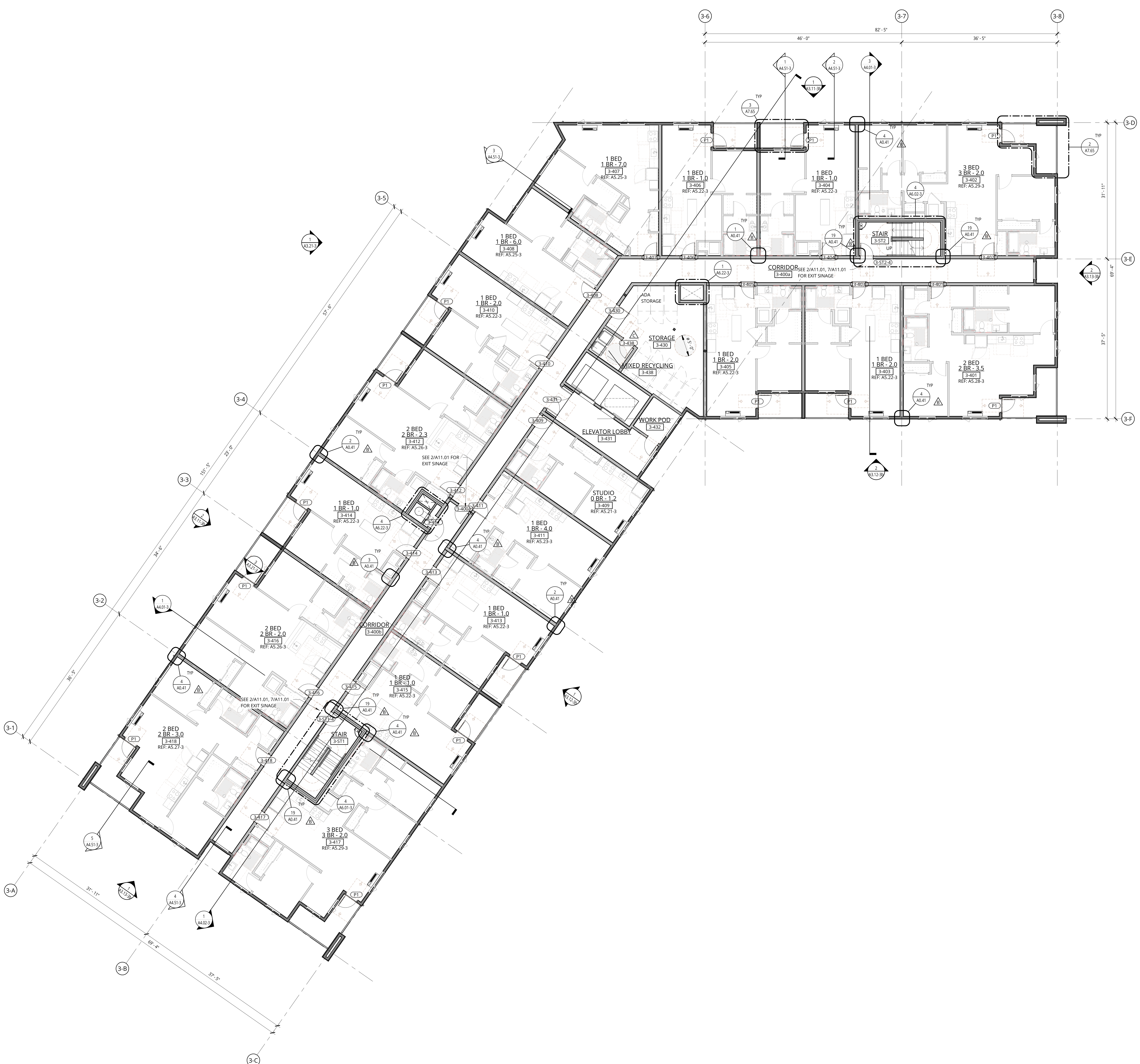


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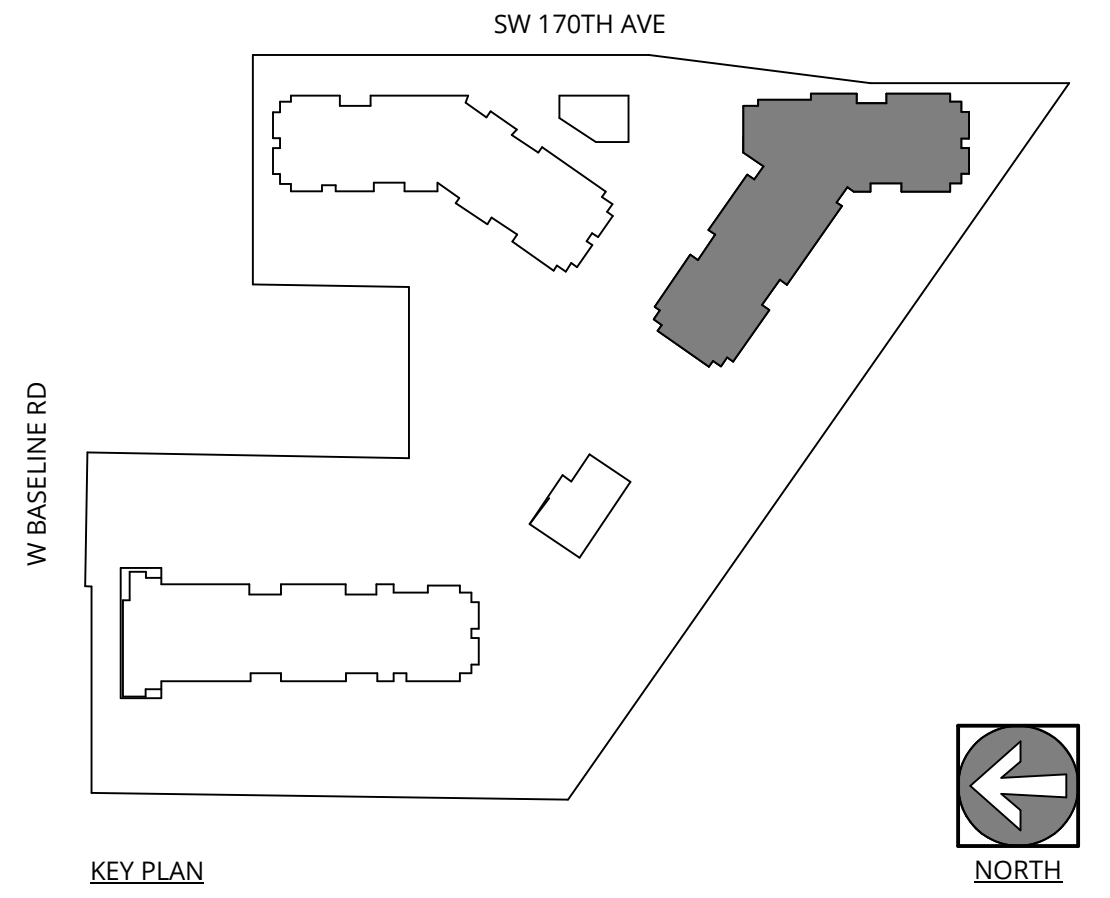
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1 BUILDING 3 - LEVEL 4 - PLAN
 1/8" = 1'-0"



ELMONICA BUILDING 3
 SW 170TH AND W BASELINE
 REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

LEVEL 4 FLOOR PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
 SHEET NUMBER:

A2.04-3

GENERAL NOTES - FLOOR PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEETS A0.21 & A0.31 FOR WALL ASSEMBLIES.
- SEE SHEET A0.41 FOR TYPICAL FRAMING AND ACOUSTICAL DETAILS.
- SEE FIRE/FLEE SAFETY SHEETS BEGINNING ON 02.21 FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
- REFER TO ENLARGED UNIT PLANS (A0.21 SERIES) FOR DETAILED INFORMATION WITHIN EACH RESIDENTIAL UNIT.
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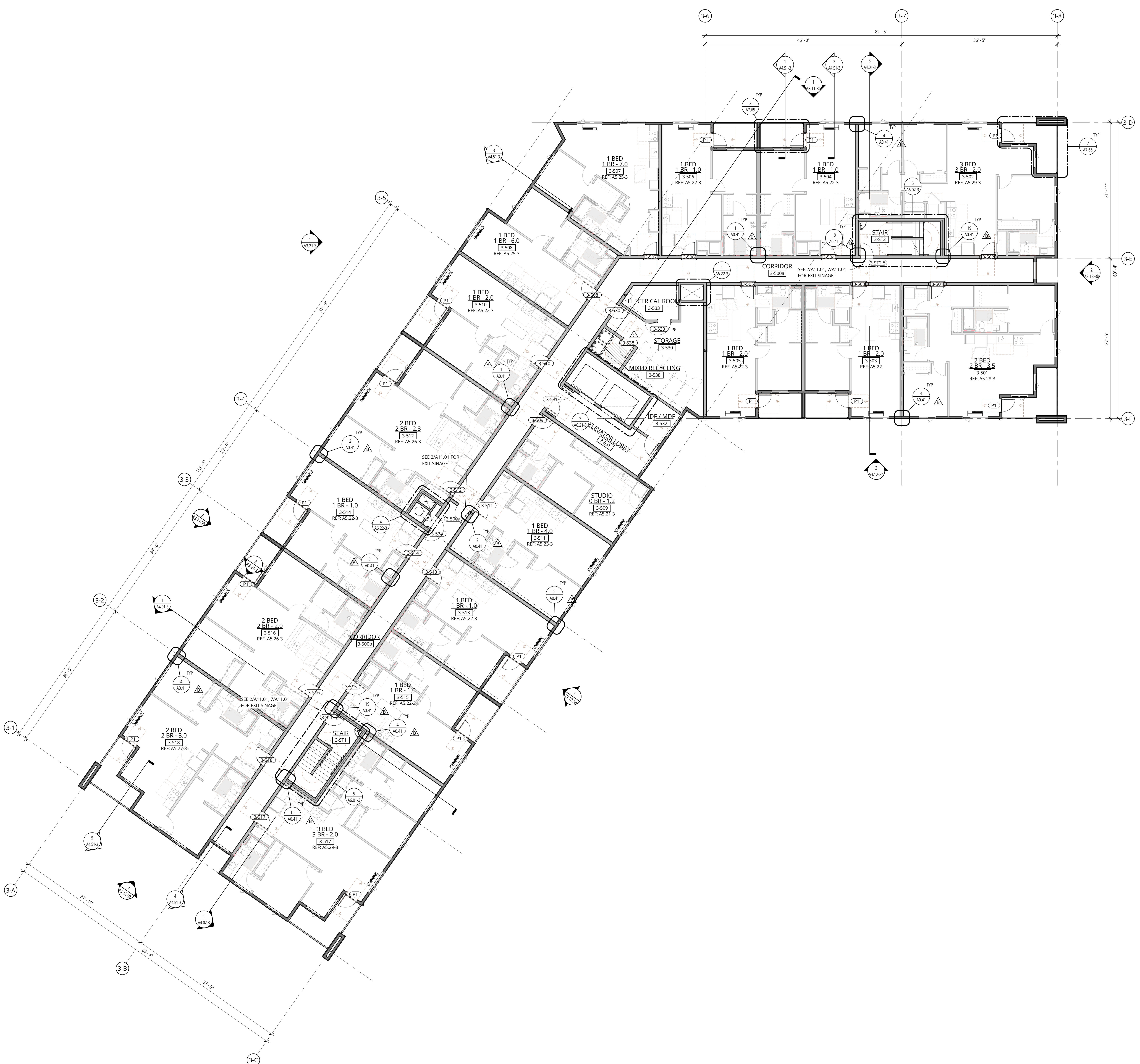


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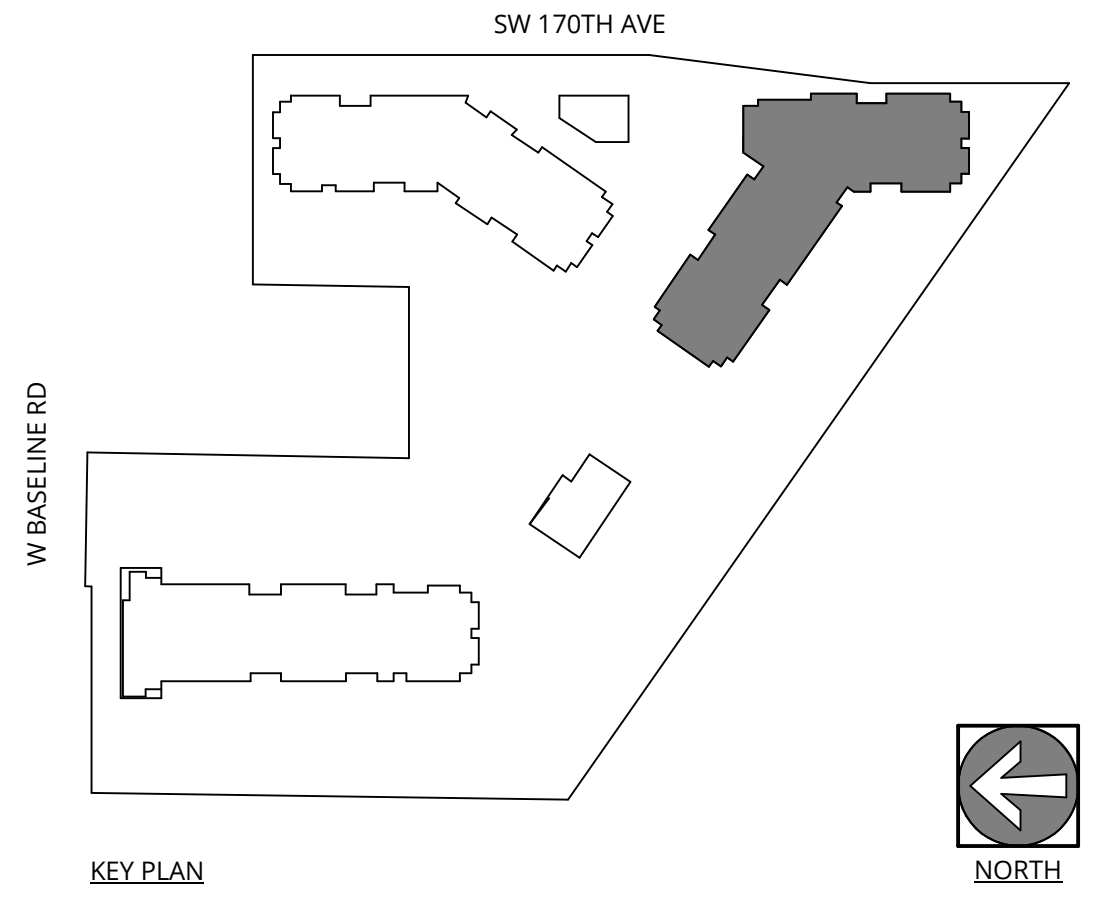
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1 BUILDING 3 - LEVEL 5 - PLAN
1/8" = 1'-0"



ELMONICA BUILDING 3
 SW 170TH AND W BASELINE
 REMBOLD PROPERTIES

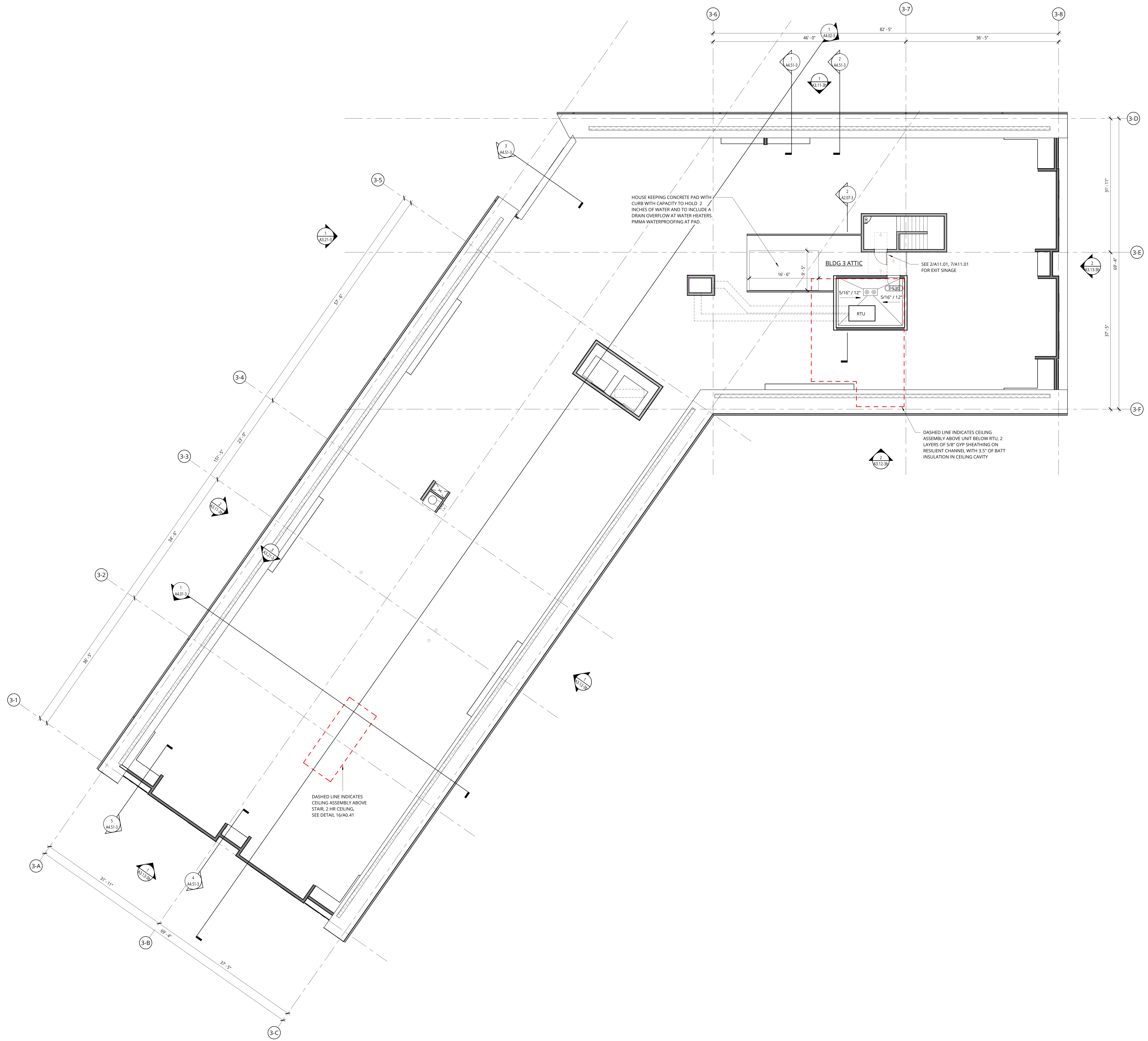
REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

LEVEL 5 FLOOR PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
 SHEET NUMBER:

A2.05-3



1 BUILDING 3 - ATTIC - PLAN
1/8" = 1'-0"

NOT FOR CONSTRUCTION



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ELMONICA BUILDING 3
 SW 170TH AND W BASELINE
 REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

ATTIC PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
 SHEET NUMBER:

A2.06-3

ROOF VENTING STRATEGY - BUILDING 3

PER OSC SECTION 1202.2.1 RATIO OF ATTIC AREA FOOTPRINT TO FREE VENTILATION AREA = 1/150. PER EXCEPTION IF BALANCED HIGH AND LOW VENTILATION IS PROVIDED, THE RATIO CAN BE REDUCED TO 1/300 WHEN 40%-50% IS PROVIDED IN THE UPPER PORTION WITH THE BALANCE OF THE VENTILATION PROVIDED BY LOW VENTS. HIGH AND LOW VENTILATION IS PROPOSED FOR THIS PROJECT.

REQUIRED	PROVIDED	
	VENT TYPE	TOTAL NET FREE AREA
BUILDING ATTIC ENCLOSED AREA (GSF)	17,480 SF	
TOTAL NET FREE AREA REQUIRED	LINEAR	15.63 SF
	GABLE END LOUVER	21.15 SF
SF / 300, WITH MIN 50% LOW VENTING	STATIC VENT	7.98 SF
	TOTAL PROVIDED	23.61 SF
*40% UP / 60% LOW USED TO DETERMINED REQUIRED		36.5 SF

CALCULATIONS

LINEAR LOW PROFILE VENTS LOCATED AT LOW AREA OF ROOF PROVIDES 9 SQ INCHES PER LINEAL FOOT = 0.0625 SQUARE FEET PER LINEAL FOOT WITH ALTERNATING BLOCKING AT EVERY OTHER TRUSS BAY. CALCULATION ASSUMES REDUCTION OF 50% OF NET FREE AREA = 0.03125 SF
TOTAL PROVIDED = 497 FEET X 0.03125 = 15.53 SF NET FREE AREA PROVIDED

LINEAR RIDGE VENTS AT HIGH AREA OF THE ROOF PROVIDE 18 SQ INCHES PER LINEAL FOOT = 0.125 SQUARE FEET PER LINEAL FOOT WITH ALTERNATING BLOCKING AT RIDGE EVERY OTHER TRUSS BAY. CALCULATION ASSUMES REDUCTION 50% OF NET FREE AREA = 0.0625 SF
TOTAL PROVIDED = 250 FEET X 0.0625 = 15.625 SF NET FREE AREA PROVIDED

STATIC VENT AT HIGH AREA OF THE ROOF PROVIDE 60 SQ INCHES PER VENT = 0.42 SQUARE FEET PER VENT
TOTAL PROVIDED = 17 VENTS X 0.42 = 7.14 SF NET FREE AREA PROVIDED

GABLE END LOUVERS PROVIDE THE REMINDER FOR INTAKE VENTS. SEE ELEVATIONS
TOTAL PROVIDED (4.5' X 5') = 22.5 SF (AT 47% FREE AREA) = 10.58 SF X 2 AT EACH END OF THE BUILDING = 21.15 SF TOTAL NET FREE AREA PROVIDED

GENERAL NOTES - ROOF PLANS

- REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEET A0.01 FOR HORIZONTAL ASSEMBLIES.
- PROVIDE ROOFING MANUFACTURER'S STANDARD WALKWAY PADS BETWEEN ALL ROOF HATCHES, ROOF ACCESS DOORS, AND ROOFTOP EQUIPMENT AND AROUND PERIMETER OF ALL ROOFTOP EQUIPMENT.
- PROVIDE POSITIVE ROOF SLOPE TO DRAIN AT MINIMUM SLOPE OF 1/4" PER FOOT MEASURED ALONG VALLEYS, UNLESS NOTED OTHERWISE.
- ROOF PENETRATIONS SHOWN ARE SCHEMATIC IN NATURE. COORDINATE ACTUAL SIZE, TYPE AND LOCATION OF EQUIPMENT, CURBS, AND ANY OTHER ROOF PENETRATIONS THAT MAY BE REQUIRED TO SUPPORT, SECURE OR FLASH ROOFTOP EQUIPMENT.
- VERIFY AND COORDINATE SLAB PENETRATIONS INCLUDING SLEEVES & BLOCKOUTS AS REQUIRED FOR PLUMBING, MECHANICAL, ELECTRICAL, ETC. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES.
- COMPLY WITH THE MOST STRINGENT OF SMACNA, NRCA OR MANUFACTURER'S REQUIREMENTS FOR FLASHINGS, COPINGS AND OTHER SHEET METAL CONSTRUCTION.
- VERIFY ROOFING MANUFACTURER'S MINIMUM REQUIREMENTS FOR LAPPING OF ALL MATERIALS. BRING CONFLICTS WITH ARCHITECTURAL DETAILS TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
- REFER TO DETAILS FOR TOP OF PARAPET DATUMS.
- SEE MEP AND LANDSCAPE DRAWINGS FOR ROOFTOP FURNISHINGS, EQUIPMENT AND PENETRATIONS.

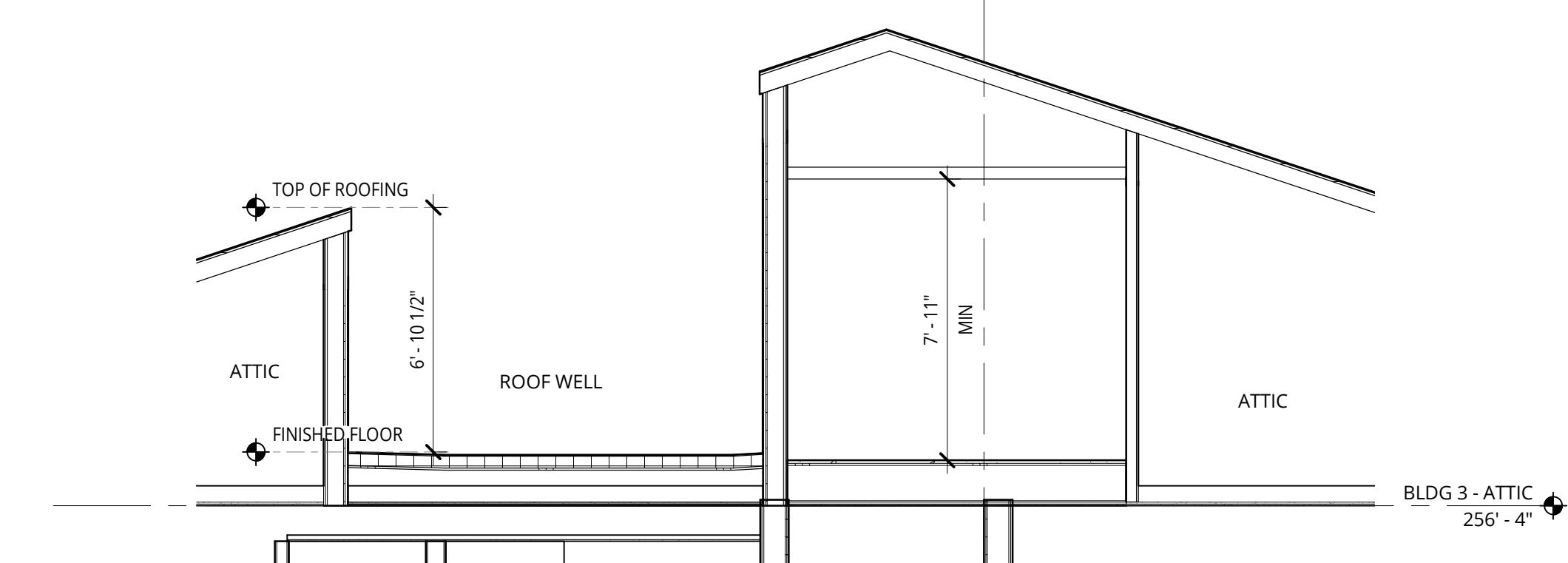
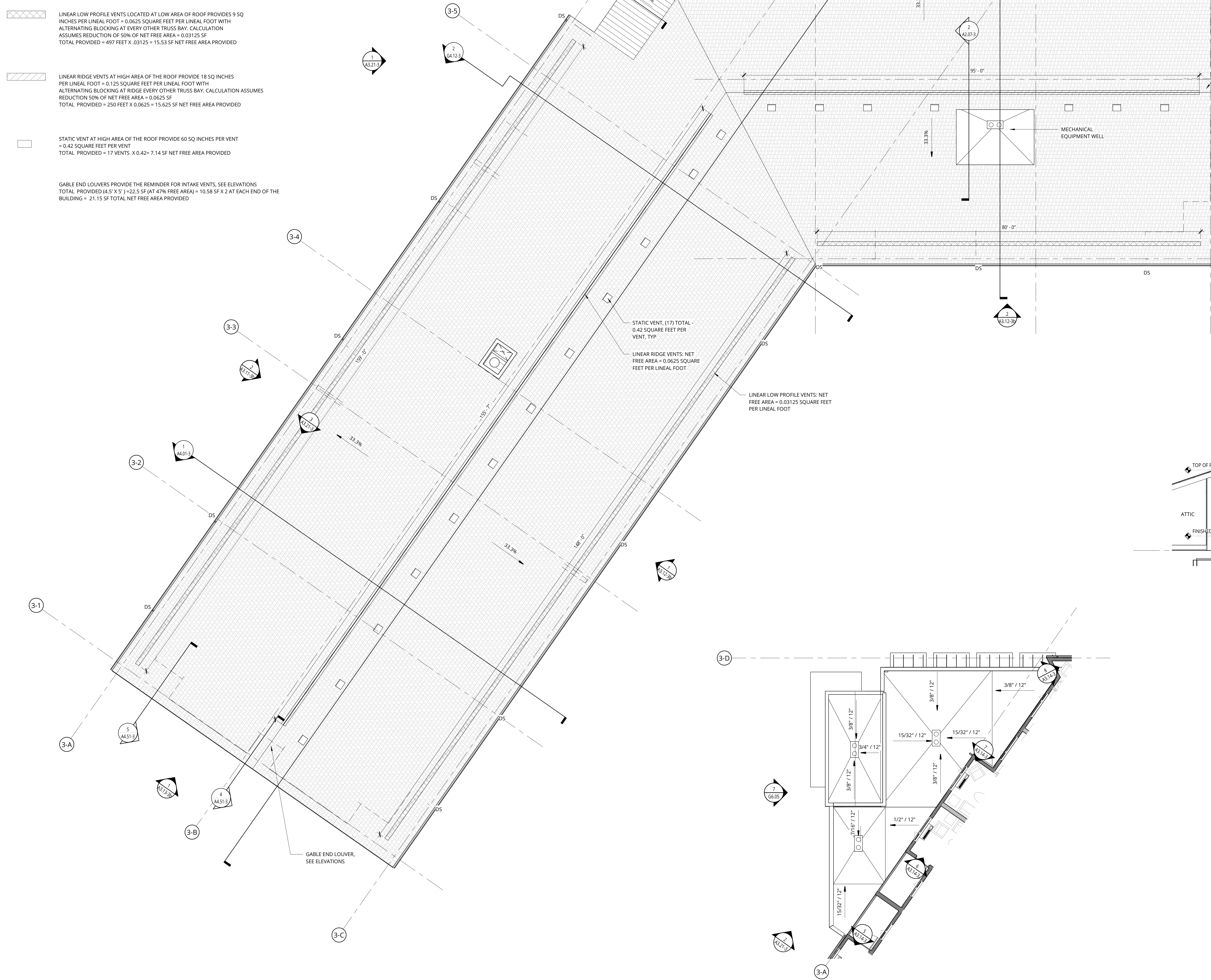
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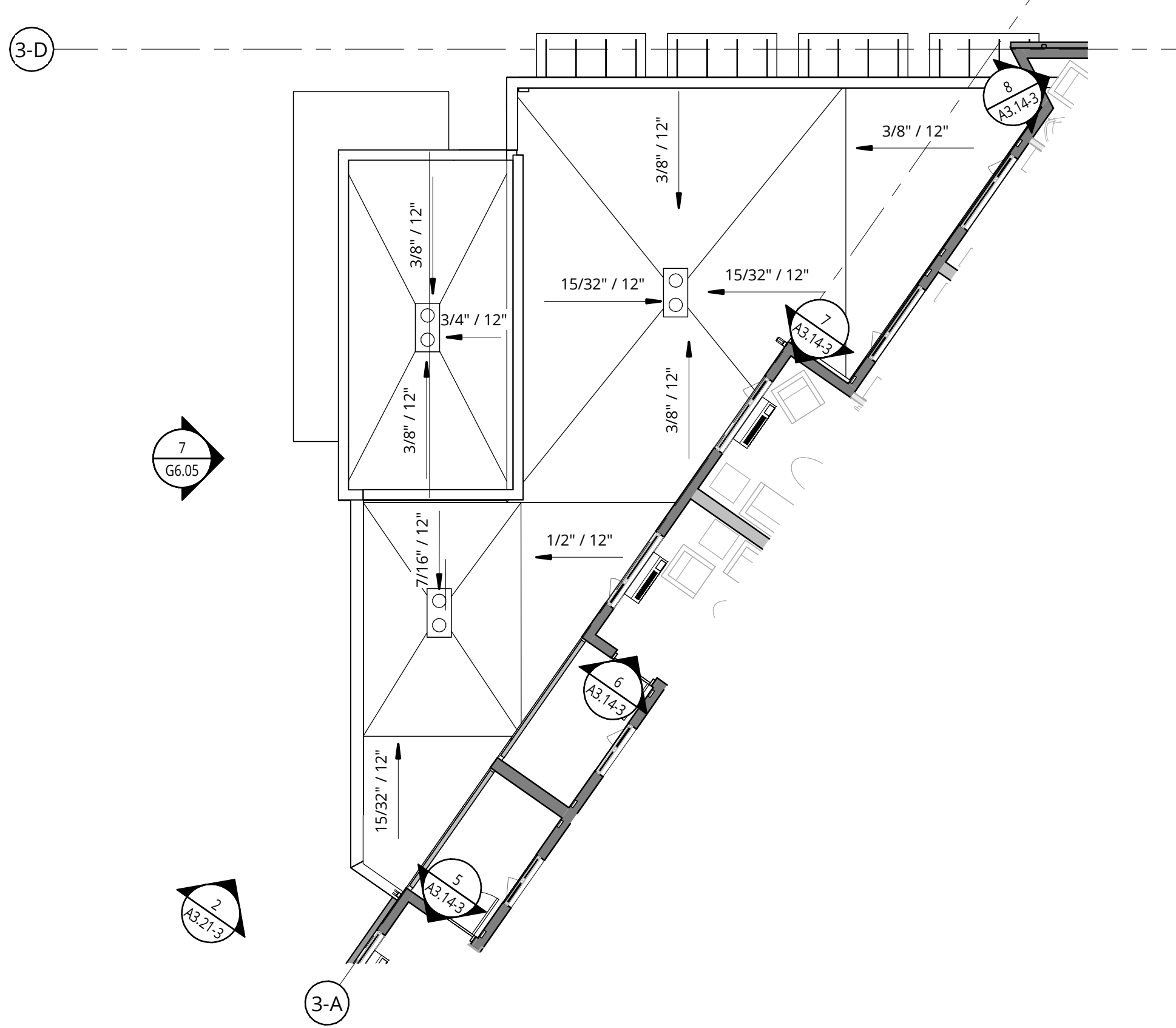
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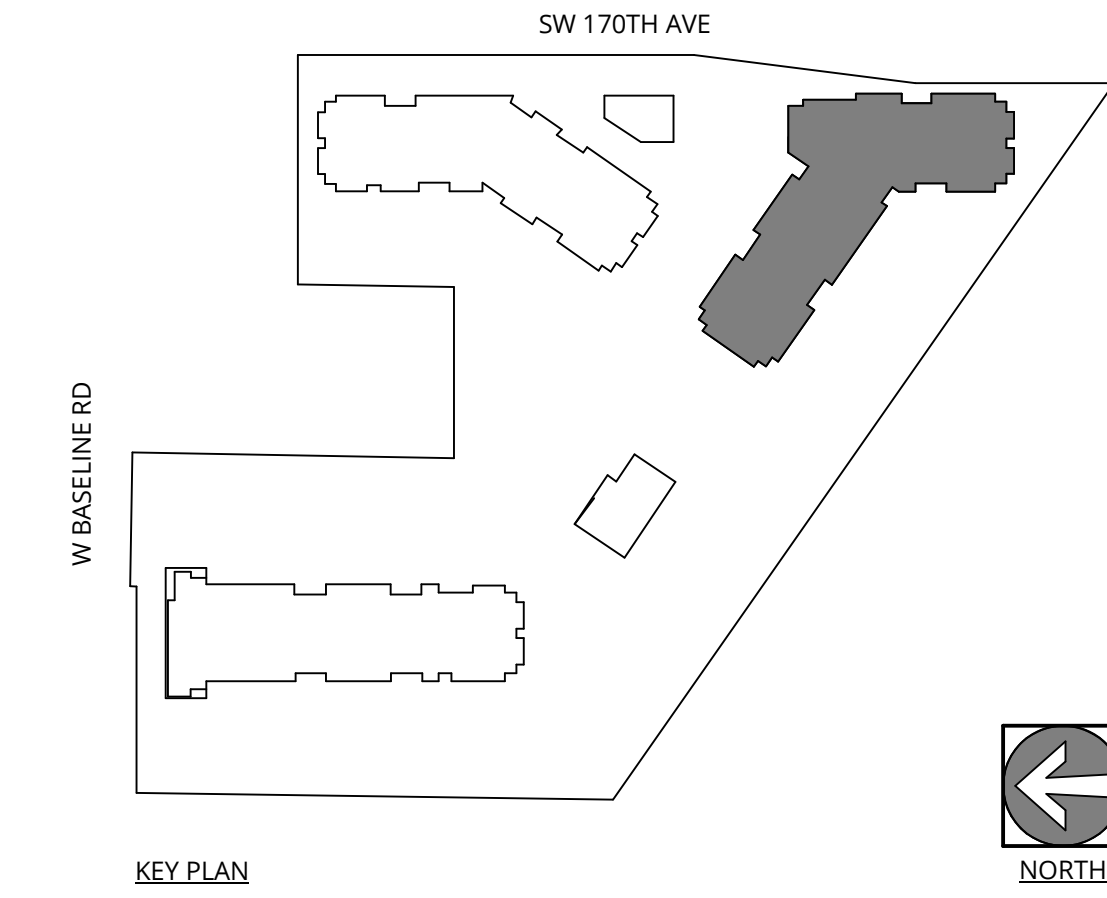


2 SECTION AT MEP ATTIC
1/4" = 1'-0"



3 BUILDING 3 - LOWER ROOF - PLAN
1/8" = 1'-0"

1 BUILDING 3 - ROOF - PLAN
1/8" = 1'-0"



ELMONICA BUILDING 3
SW 170TH AND W BASELINE
REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

ROOF PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A2.07-3

KEY VALUE	KEYNOTE TEXT
B.212.1	FIBER CEMENT LAP SIDING (STAINED)
B.212.6	FIBER CEMENT SHAKE SIDING (STAINED)
B.212.9	SYNTHETIC TRIM B, SEE DETAIL B/A7.31(PAINTED)
B.221	VINYL WINDOWS
B.225	ALUMINUM FRAMED STOREFRONTS
B.241	PTHP LOUVER(CUSTOM)
B.314.2	FIBERGLASS REINFORCED SHINGLES ROOFING
B.410	PRE-FINISHED METAL GUTTER
B.411	PRE-FINISHED METAL DOWNSPOUT

EXTERIOR MATERIAL LEGEND	
	FC SHAKE SIDING-PAINTED WALL ASSEMBLY L6.1, L6.2
	FC SHAKE SIDING - STAINED WALL ASSEMBLY L6.1, L6.2
	FC LAP SIDING - STAINED WALL ASSEMBLY K6.1, K6.2
	FC PANEL - STAINED WALL ASSEMBLY J6.1, J6.2, J6.3
	FC PANEL - PAINTED WALL ASSEMBLY J6.1, J6.2, J6.3

- GENERAL NOTES - EXTERIOR ELEVATIONS**
- REFER TO SHEET **A0.01** FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
 - ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL (OR PROJECT DATUM).
 - SEE DOOR SCHEDULE SHEET A12.01 FOR DOOR LOCATIONS AND TYPES.
 - SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
 - REFER TO **A0.11** FOR EXTERIOR WALL TYPES
 - SEE SHEET **A12.21** FOR WINDOW AND LOUVER INFORMATION.
 - ALL FENESTRATION (STOREFRONT AND WINDOW WALLS) SHALL BE NFRC CERTIFIED. PROVIDE LABEL CERTIFICATES TO THE ON-SITE CITY INSPECTOR AT THE PROJECT SITE PRIOR TO INSTALLATION.
 - AHJ DESIGN REVIEW AND APPROVAL DOES NOT SUPERSEDE THE SIGN CODE. OBTAIN SEPARATE SIGN PERMIT PRIOR TO INSTALLATION OF EXTERIOR BUILDING SIGNAGE.
 - DOORS INTO ELECTRICAL CONTROL PANEL ROOMS SHALL BE MARKED WITH A PLAINLY VISIBLE AND LEGIBLE SIGN STATE "ELECTRICAL ROOM" OR APPROVED WORDING.

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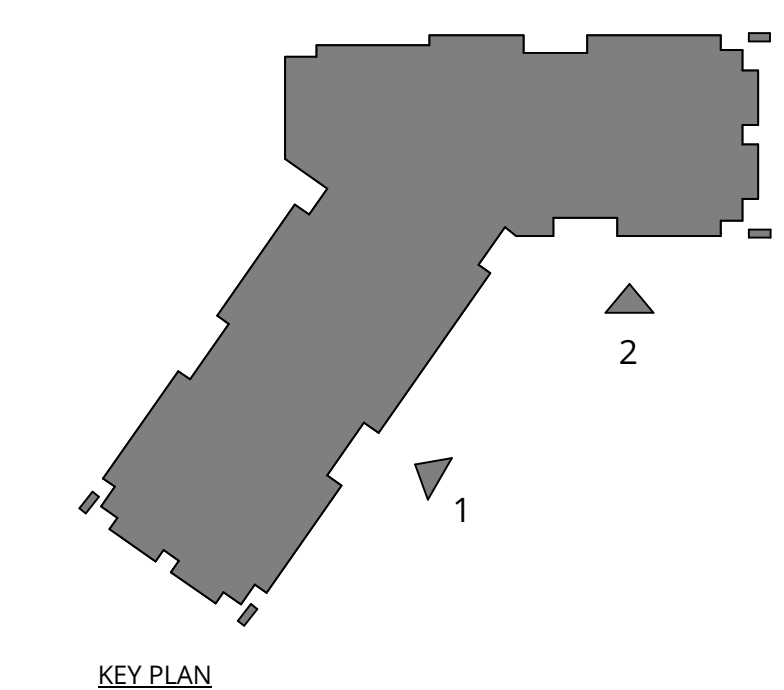
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1 BUILDING 3 - WEST 1
1/8" = 1'-0"



2 BUILDING 3 - WEST 2
1/8" = 1'-0"



ELMONICA BUILDING 3
 SW 170TH AND W BASELINE
 REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
C1	5/25/2023	Land Use Revision 3

BUILDING ELEVATIONS - PERMIT

LAND USE

DATE	PROJECT NUMBER
5.25.2023	215390

A3.12-3

GENERAL NOTES - EXTERIOR ELEVATIONS

1. REFER TO SHEET **A01.01** FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL (OR PROJECT DATUM).
3. SEE DOOR SCHEDULE SHEET A12.01 FOR DOOR LOCATIONS AND TYPES.
4. SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
5. REFER TO **A01.11** FOR EXTERIOR WALL TYPES.
6. SEE SHEET **A12.21** FOR WINDOW AND LOUVER INFORMATION.
7. ALL FENESTRATION (STOREFRONT AND WINDOW WALLS) SHALL BE MFC CERTIFIED. PROVIDE LABEL CERTIFICATES TO THE ON-SITE CITY INSPECTOR AT THE PROJECT SITE PRIOR TO INSTALLATION.
8. ALL DESIGN REVIEW AND APPROVAL DOES NOT SUPERSEDE THE SIGN CODE. OBTAIN SEPARATE SIGN PERMIT PRIOR TO INSTALLATION OF EXTERIOR BUILDING SIGNAGE.
9. DOORS INTO ELECTRICAL CONTROL PANEL ROOMS SHALL BE MARKED WITH A PLAINLY VISIBLE AND LEGIBLE SIGN STATE "ELECTRICAL ROOM" OR APPROVED WORDING.

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KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
B.212.1	FIBER CEMENT LAP SIDING (STAINED)
B.212.6	FIBER CEMENT SHAKE SIDING (STAINED)
B.221	MVWL WINDOWS
B.314.2	FIBERGLASS REINFORCED SHINGLES ROOFING

EXTERIOR MATERIAL LEGEND

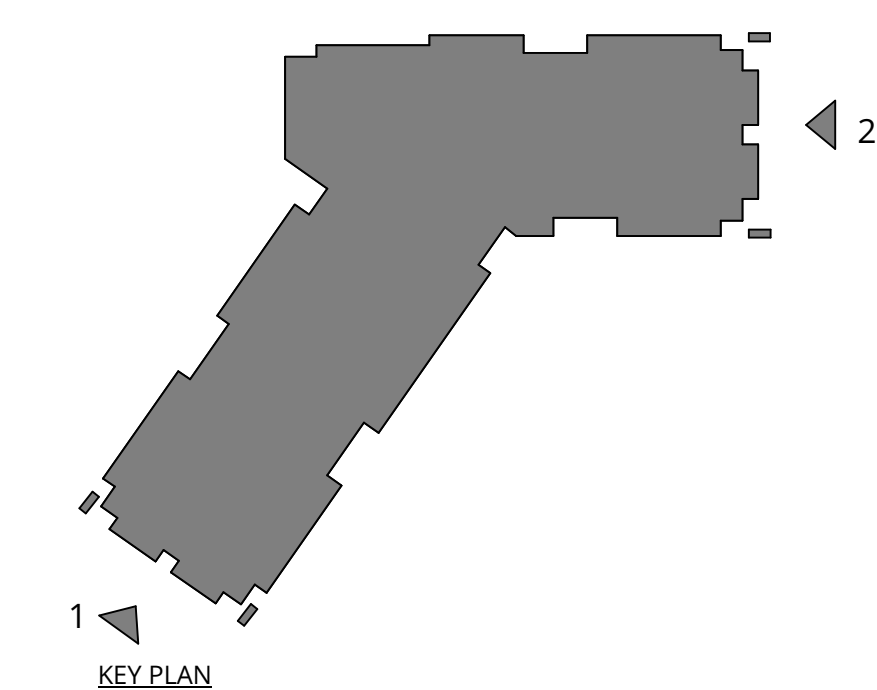
- FC SHAKE SIDING - PAINTED WALL ASSEMBLY L6.1, L6.2
- FC SHAKE SIDING - STAINED WALL ASSEMBLY L6.1, L6.2
- FC LAP SIDING - STAINED WALL ASSEMBLY K6.1, K6.2
- FC PANEL - STAINED WALL ASSEMBLY J6.1, J6.2, J6.3
- FC PANEL - PAINTED WALL ASSEMBLY J6.1, J6.2, J6.3



1 BUILDING 3 - NORTH
 1/8" = 1'-0"



2 BUILDING 3 - SOUTH
 1/8" = 1'-0"



ELMONICA BUILDING 3
 SW 170TH AND W BASELINE

REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
C	4/28/2023	Land Use Revision 2
C1	5/25/2023	Land Use Revision 3

BUILDING ELEVATIONS - PERMIT

LAND USE

DATE	PROJECT NUMBER
5.25.2023	215390

SHEET NUMBER

A3.13-3

GENERAL NOTES - EXTERIOR ELEVATIONS

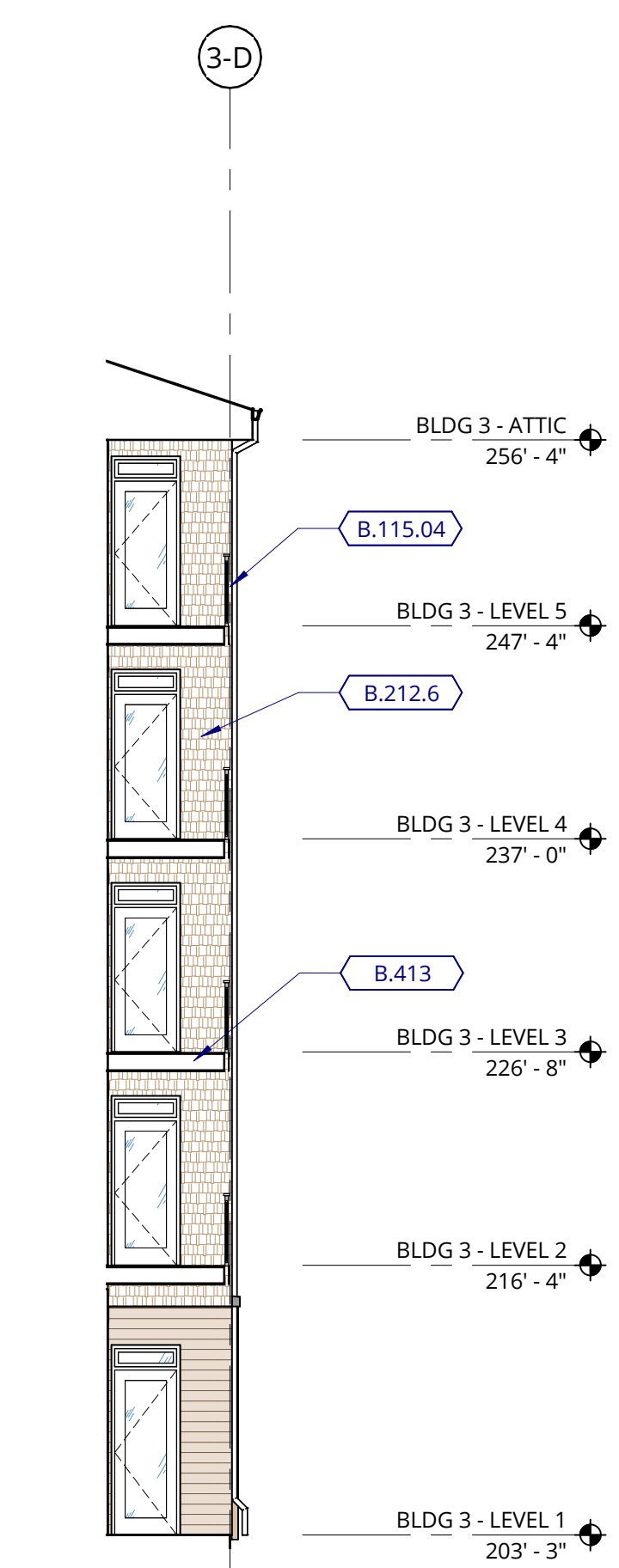
1. REFER TO SHEET **A3.01** FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL (OR PROJECT DATUM).
3. SEE DOOR SCHEDULE SHEET A12.01 FOR DOOR LOCATIONS AND TYPES.
4. SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
5. REFER TO **A0.11** FOR EXTERIOR WALL TYPES.
6. SEE SHEET **A12.21** FOR WINDOW AND LOUVER INFORMATION.
7. ALL FENESTRATION (STOREFRONT AND WINDOW WALLS) SHALL BE MFC CERTIFIED. PROVIDE LABEL CERTIFICATES TO THE ON-SITE CITY INSPECTOR AT THE PROJECT SITE PRIOR TO INSTALLATION.
8. AHJ DESIGN REVIEW AND APPROVAL DOES NOT SUPERSEDE THE SIGN CODE. OBTAIN SEPARATE SIGN PERMIT PRIOR TO INSTALLATION OF EXTERIOR BUILDING SIGNAGE.
9. DOORS INTO ELECTRICAL CONTROL PANEL ROOMS SHALL BE MARKED WITH A PLAINLY VISIBLE AND LEGIBLE SIGN STATE "ELECTRICAL ROOM" OR APPROVED WORDING.

EXTERIOR MATERIAL LEGEND

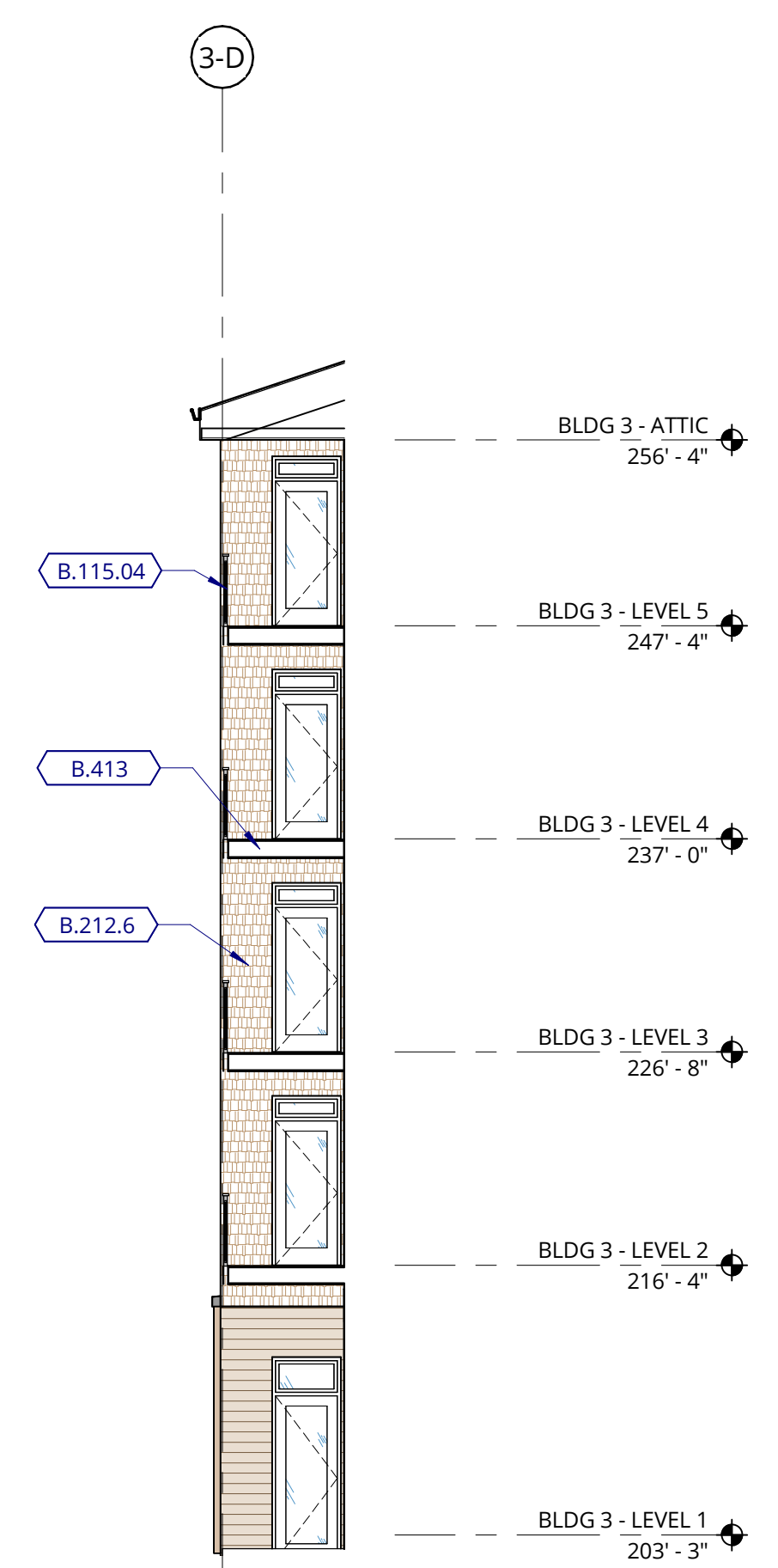
- FC SHAKE SIDING - PAINTED WALL ASSEMBLY L6.1, L6.2
- FC SHAKE SIDING - STAINED WALL ASSEMBLY L6.1, L6.2
- FC LAP SIDING - STAINED WALL ASSEMBLY K6.1, K6.2
- FC PANEL - STAINED WALL ASSEMBLY J6.1, J6.2, J6.3
- FC PANEL - PAINTED WALL ASSEMBLY J6.1, J6.2, J6.3

KEYNOTE LEGEND

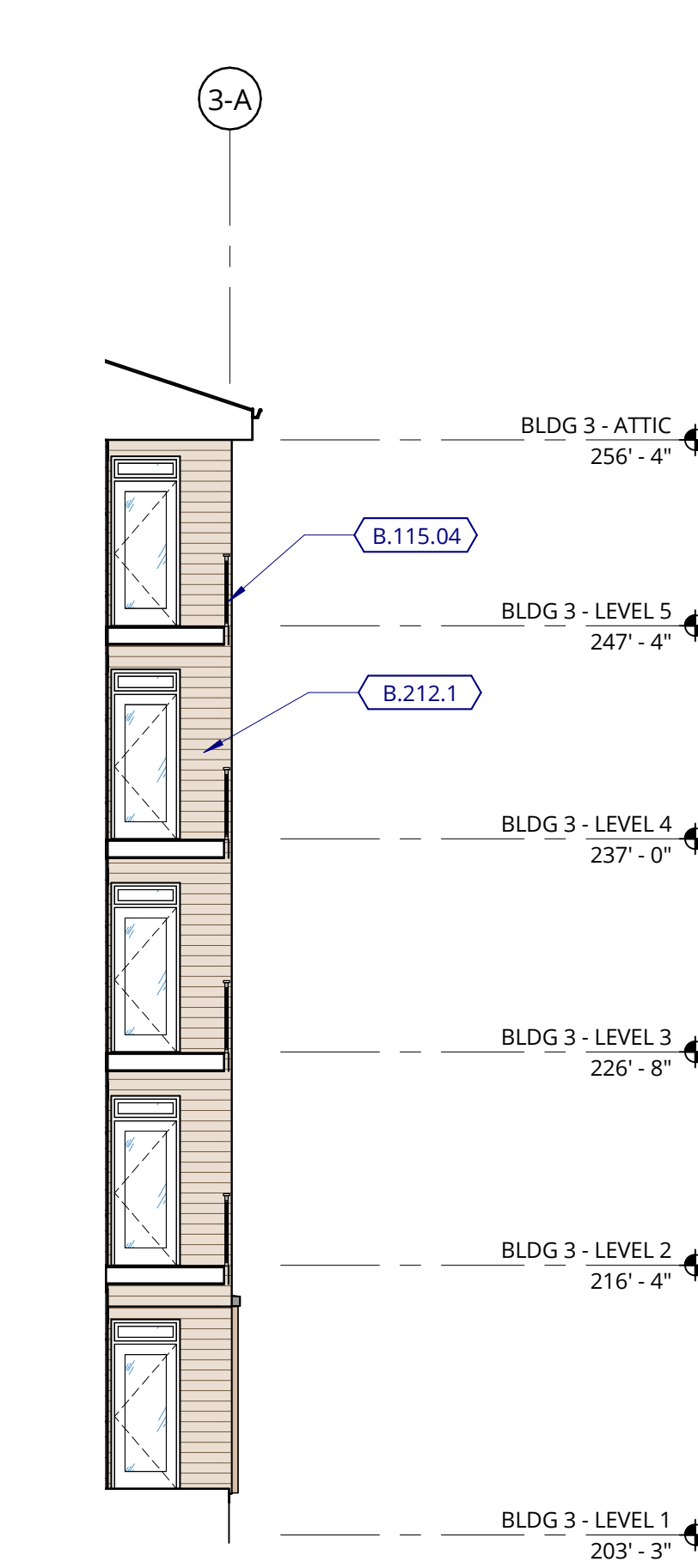
KEY VALUE	KEYNOTE TEXT
B.115.04	METAL RAILING
B.124.03	METAL FRAMED CANOPY
B.212.1	FIBER CEMENT LAP SIDING (STAINED)
B.212.6	FIBER CEMENT SHAKE SIDING (STAINED)
B.225	ALUMINUM FRAMED STOREFRONTS
B.413	WOOD FRAMED BALCONY WITH DECORATIVE SLAT SOHHT (PAINTED, REFER TO ASSEMBLY #P ON SHEET A0.31)
B.416	WOOD LOOK METAL TRELLIS/SCREEN



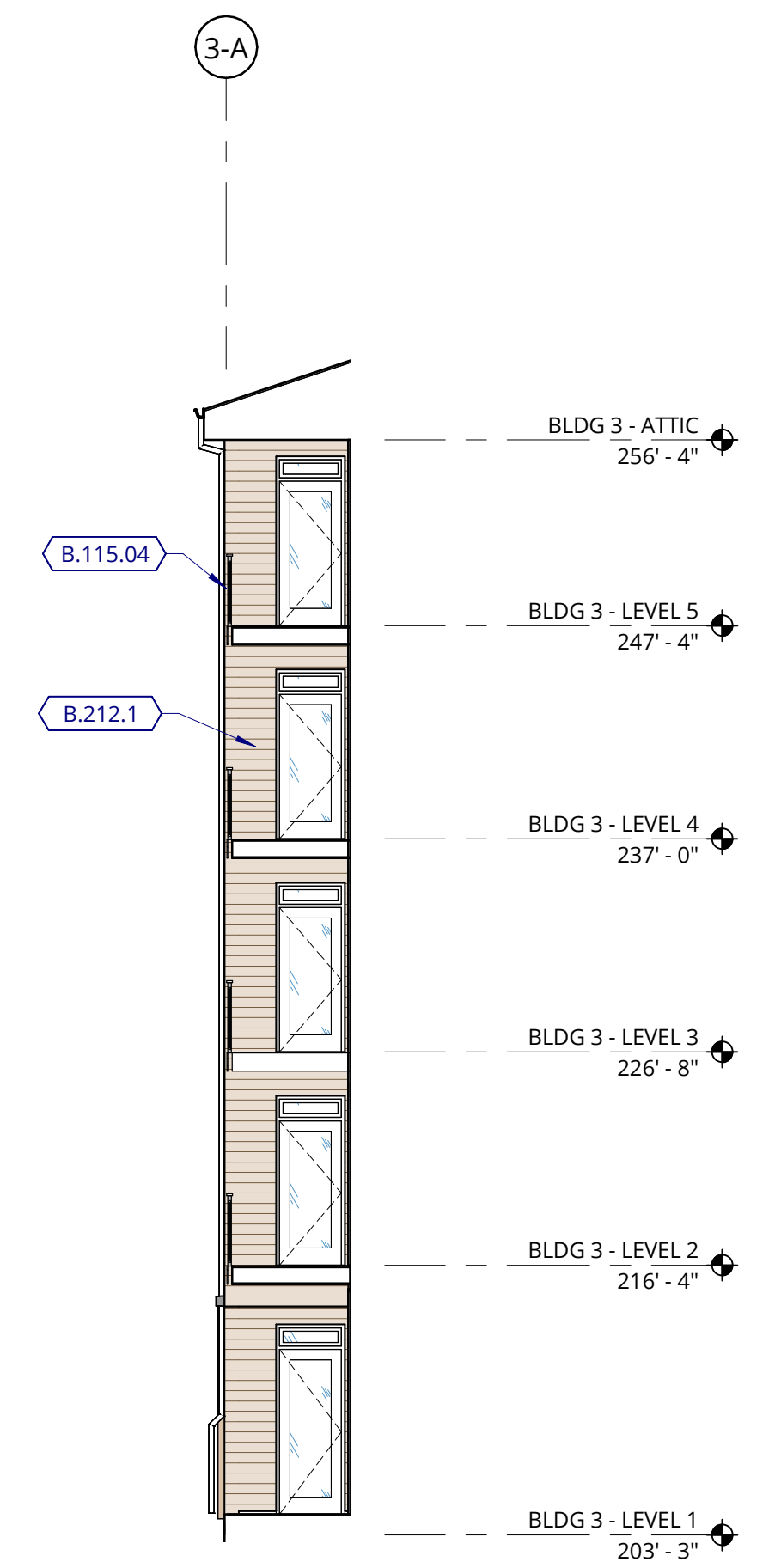
1 EAST ELEVATION
1/8" = 1'-0"



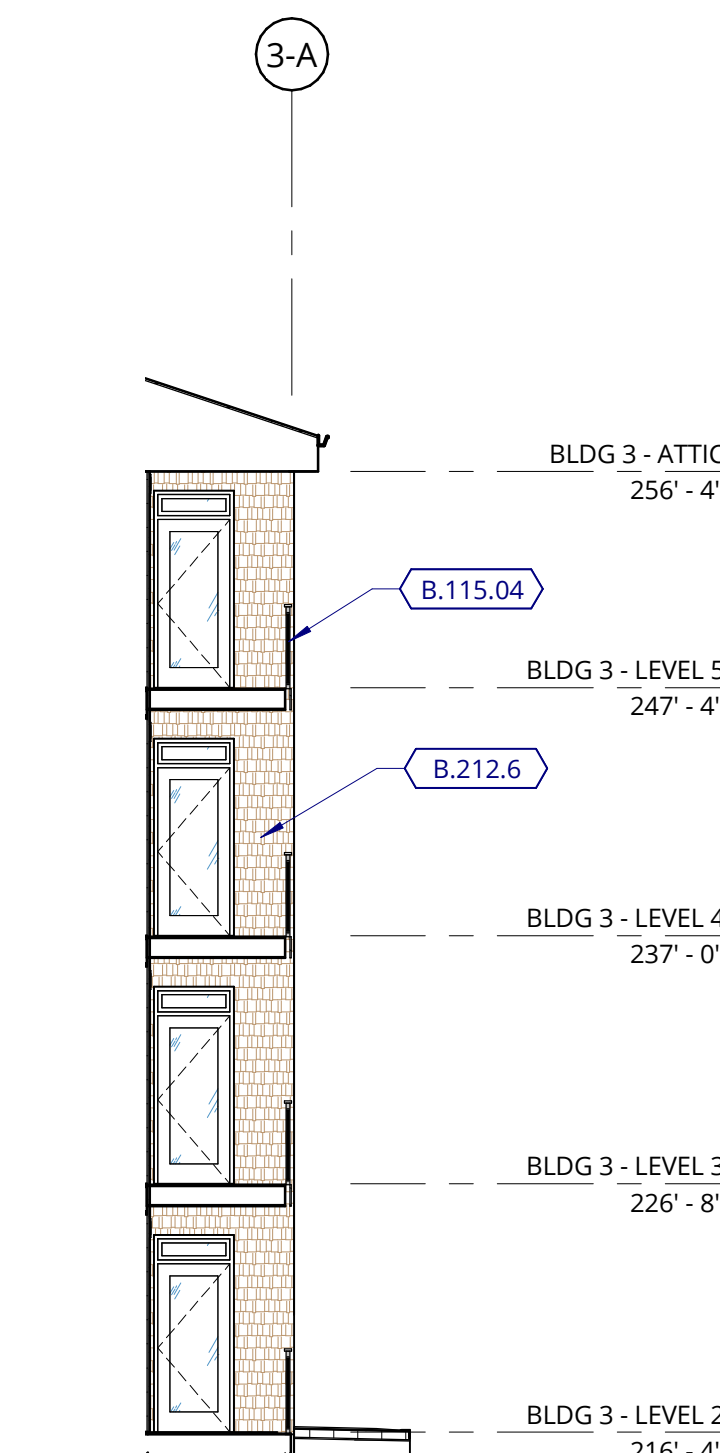
2 EAST ELEVATION
1/8" = 1'-0"



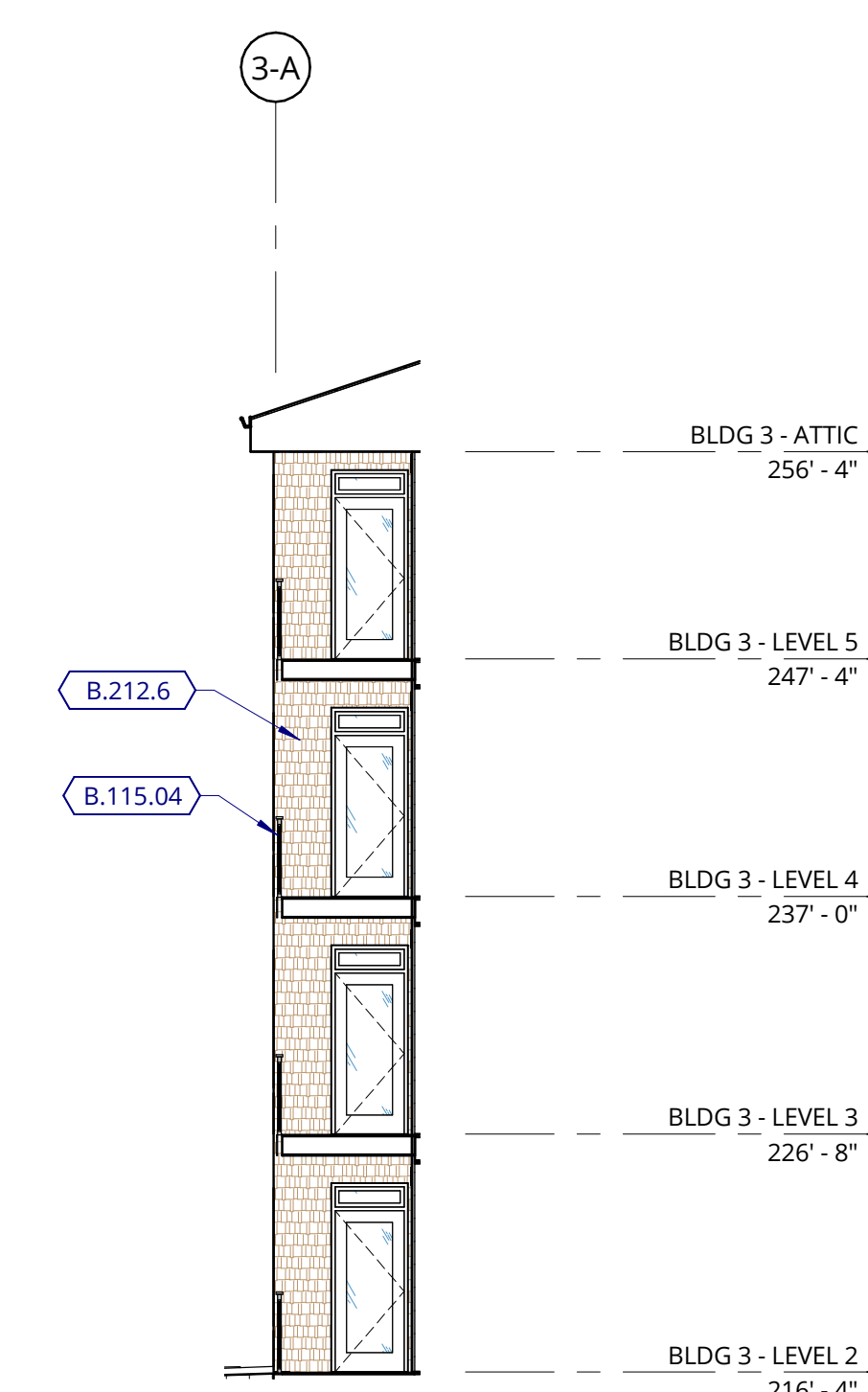
3 EAST ELEVATION
1/8" = 1'-0"



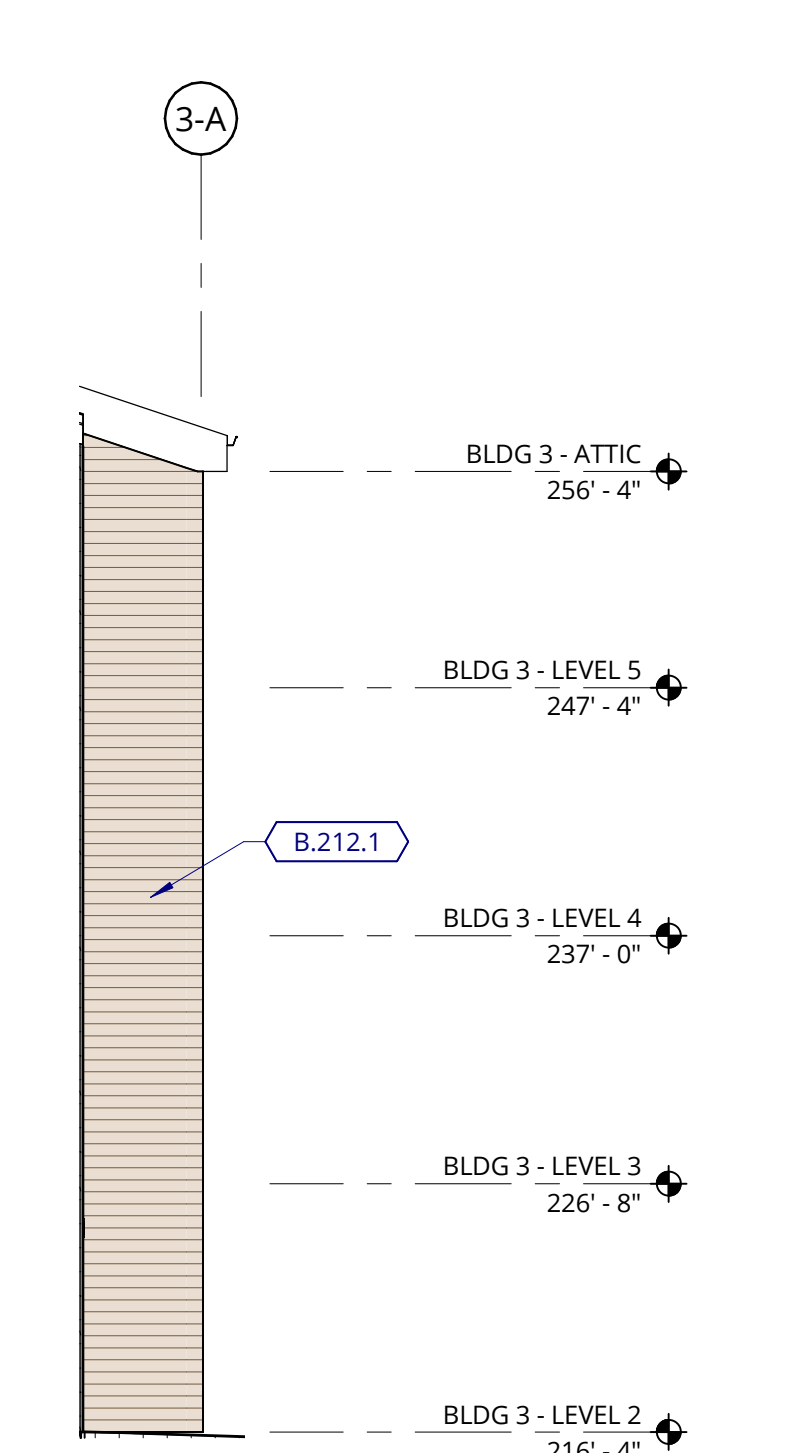
4 EAST ELEVATION
1/8" = 1'-0"



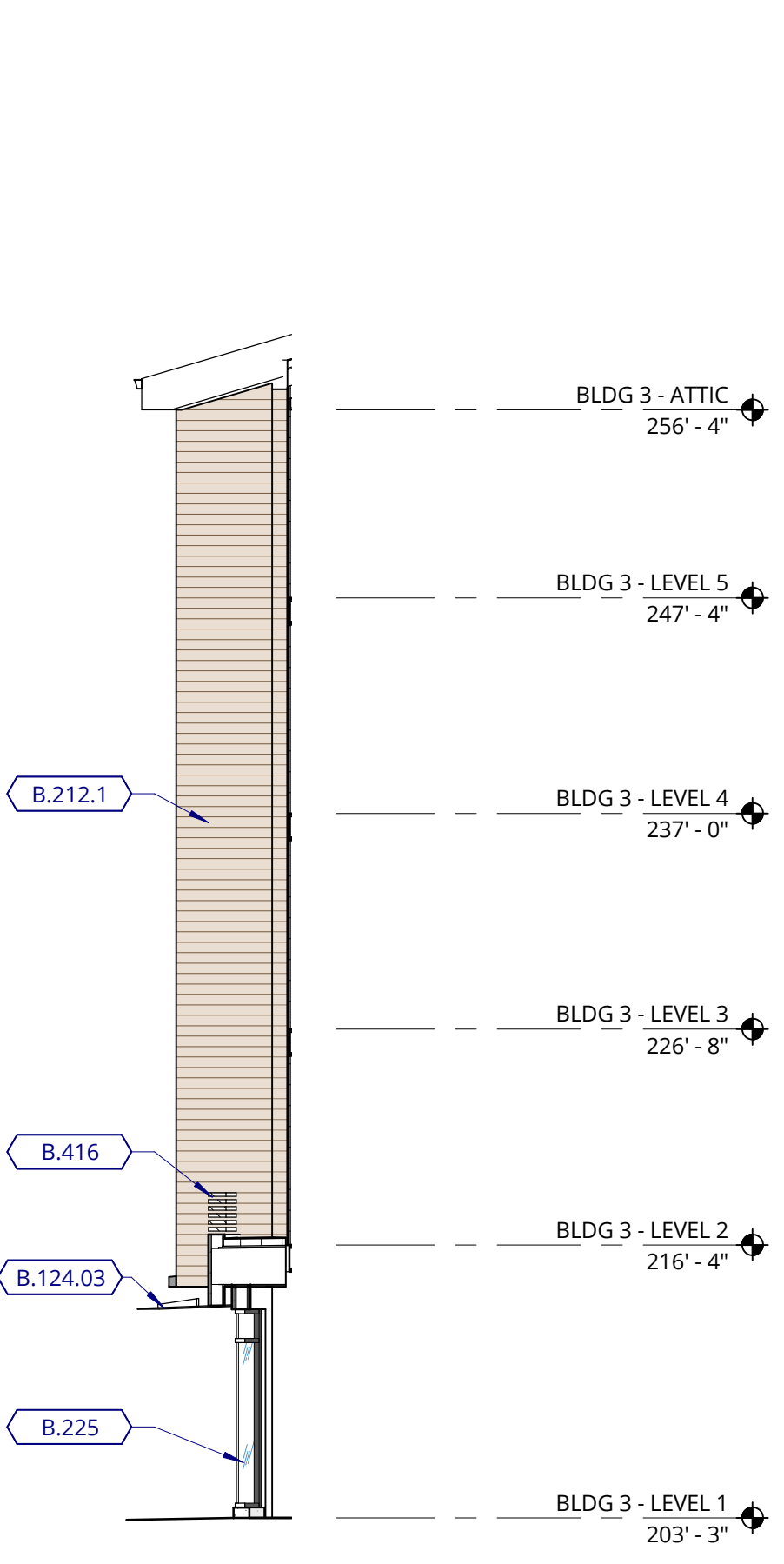
5 EAST ELEVATION
1/8" = 1'-0"



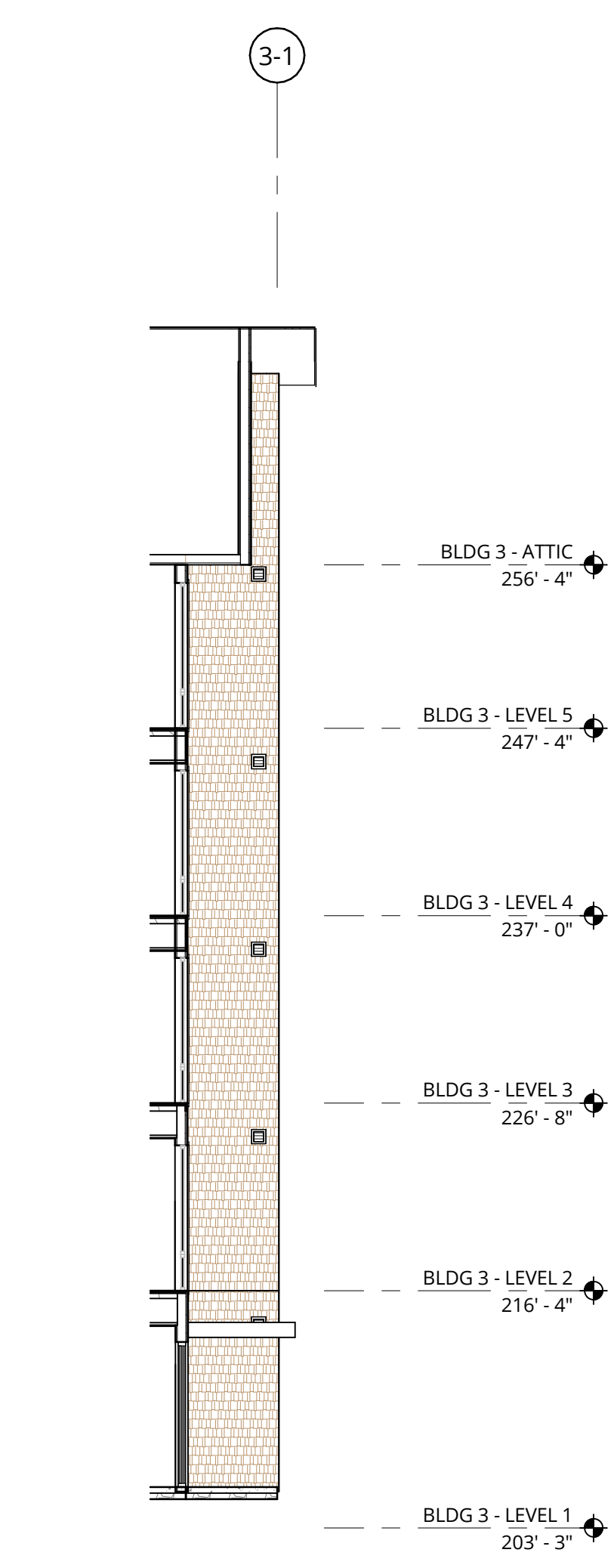
6 EAST ELEVATION
1/8" = 1'-0"



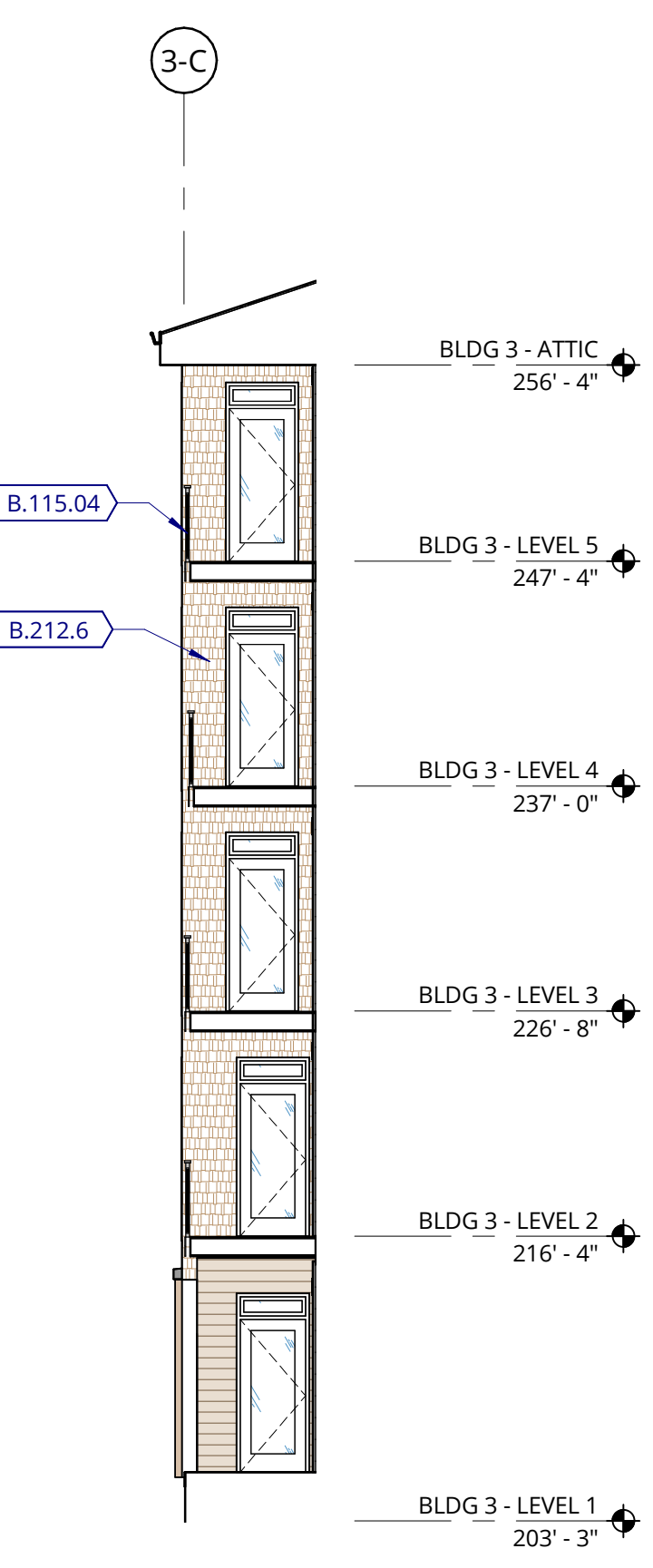
7 EAST ELEVATION
1/8" = 1'-0"



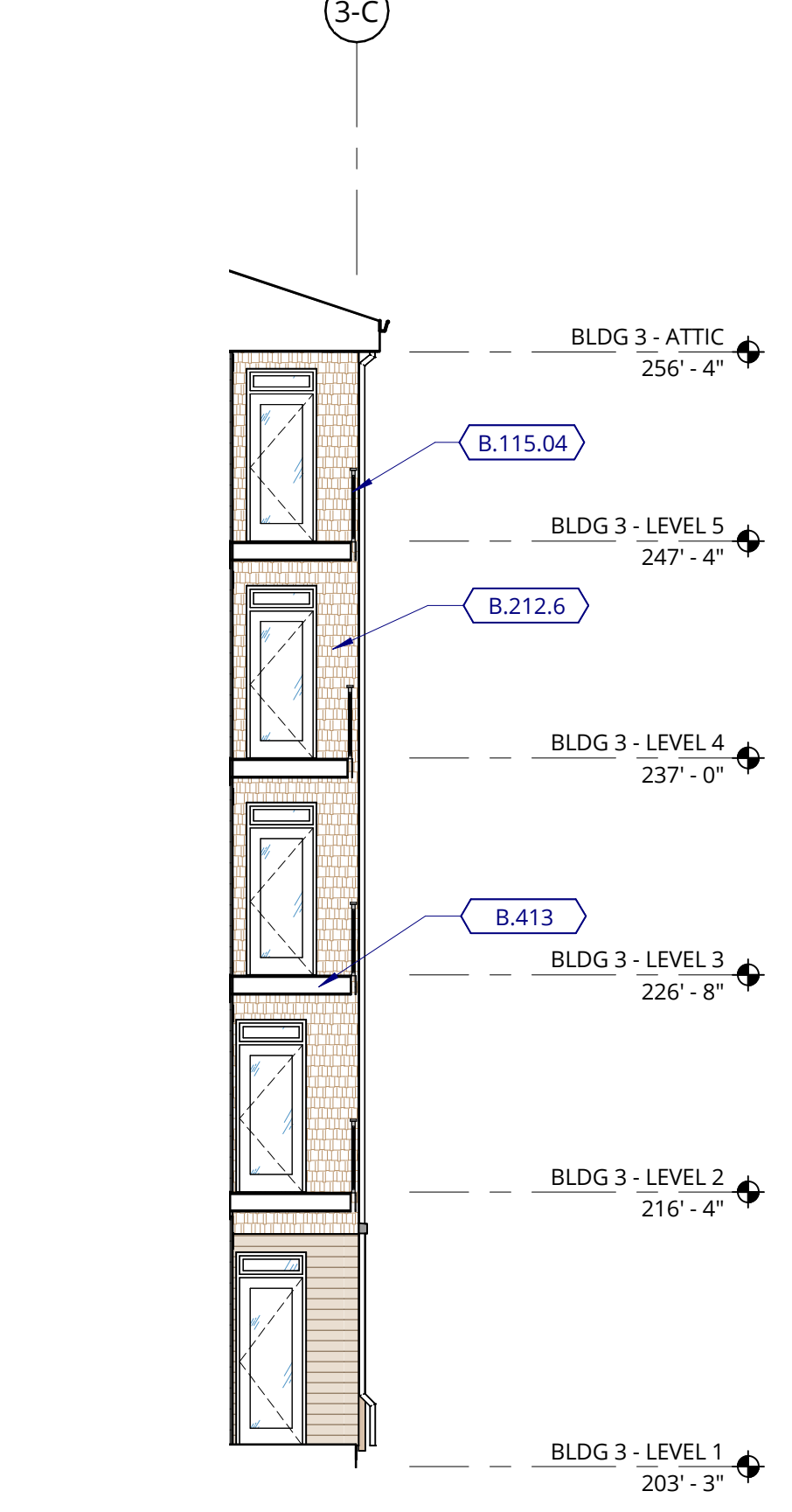
8 EAST ELEVATION
1/8" = 1'-0"



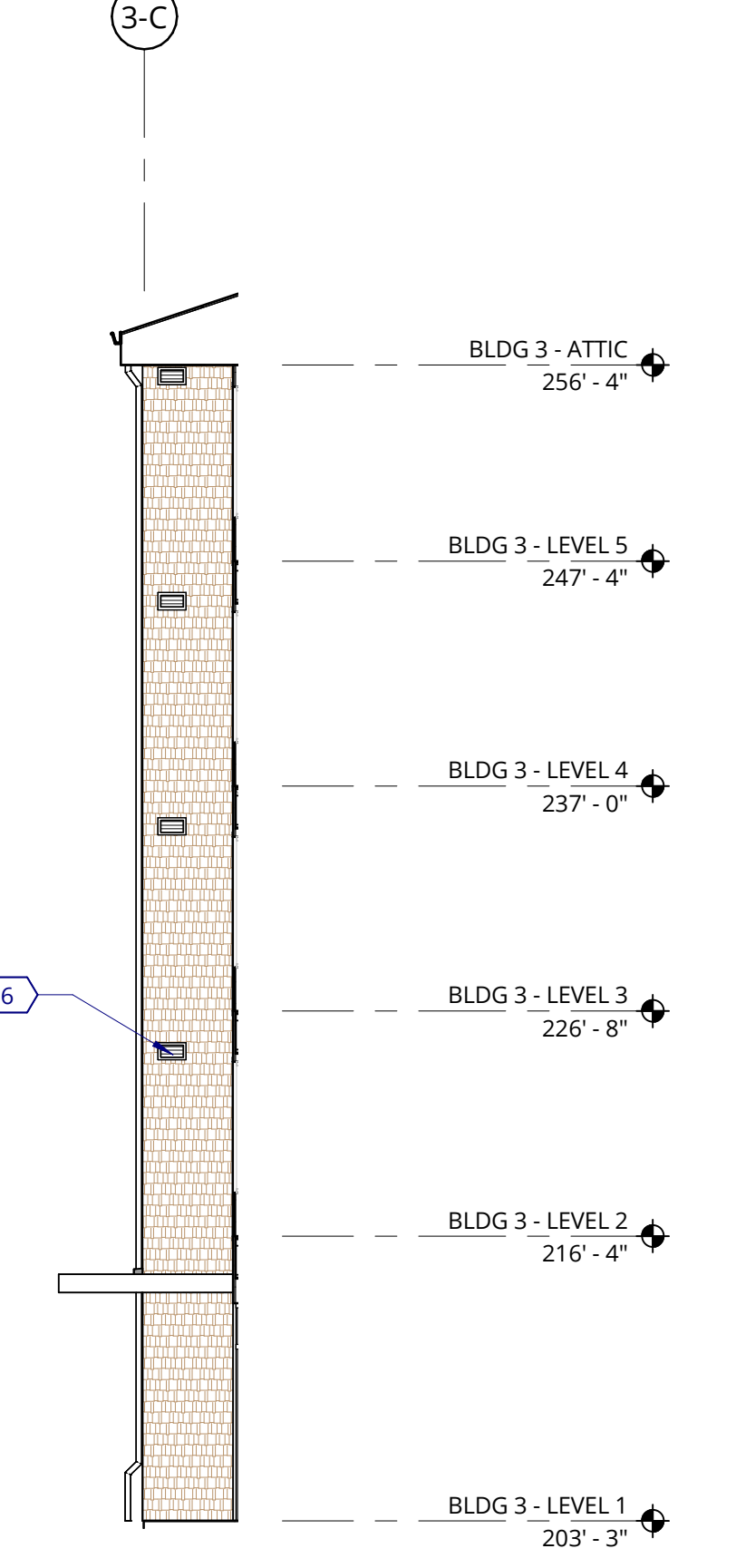
9 NORTH ELEVATION
1/8" = 1'-0"



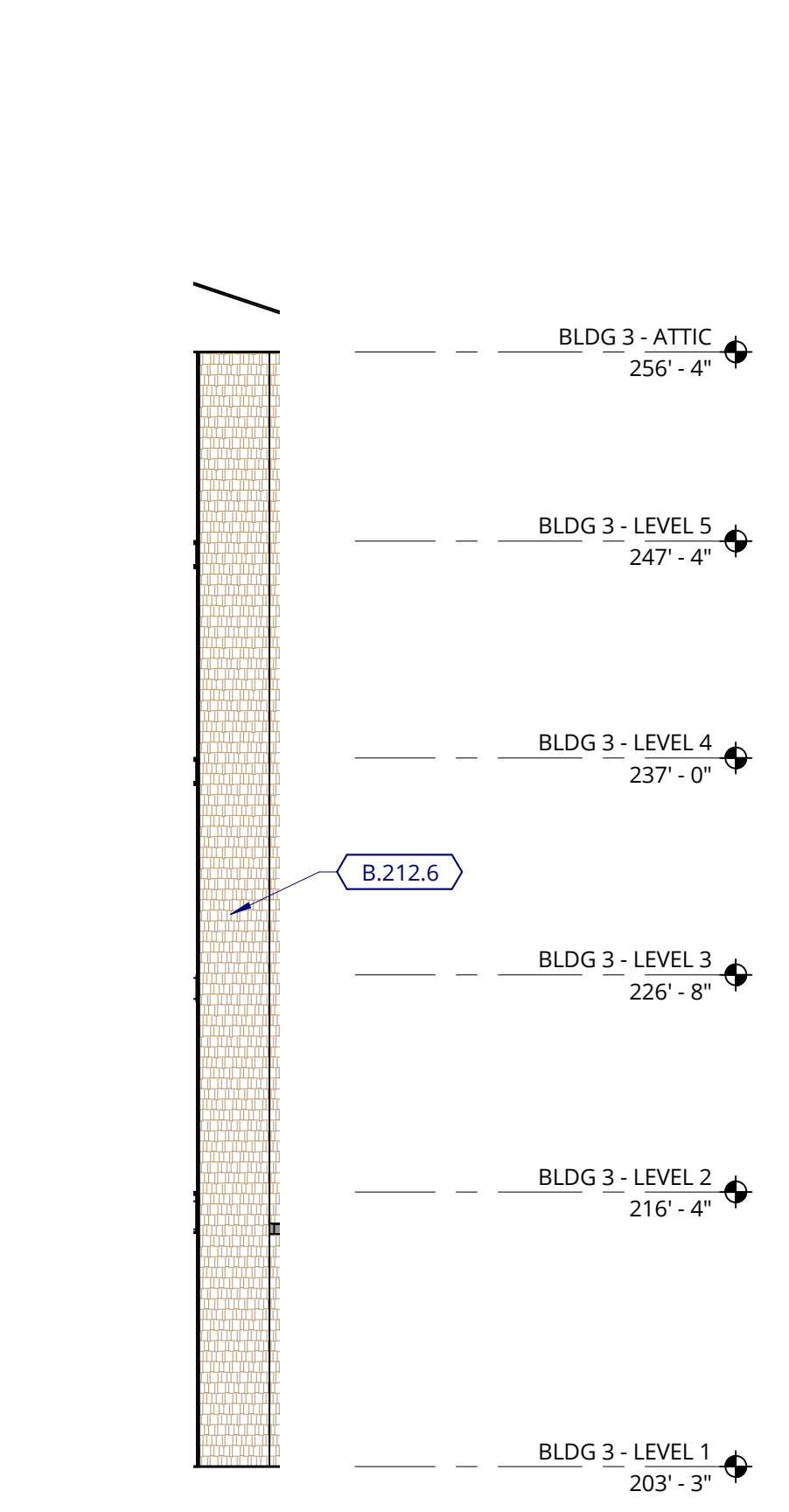
10 WEST ELEVATION
1/8" = 1'-0"



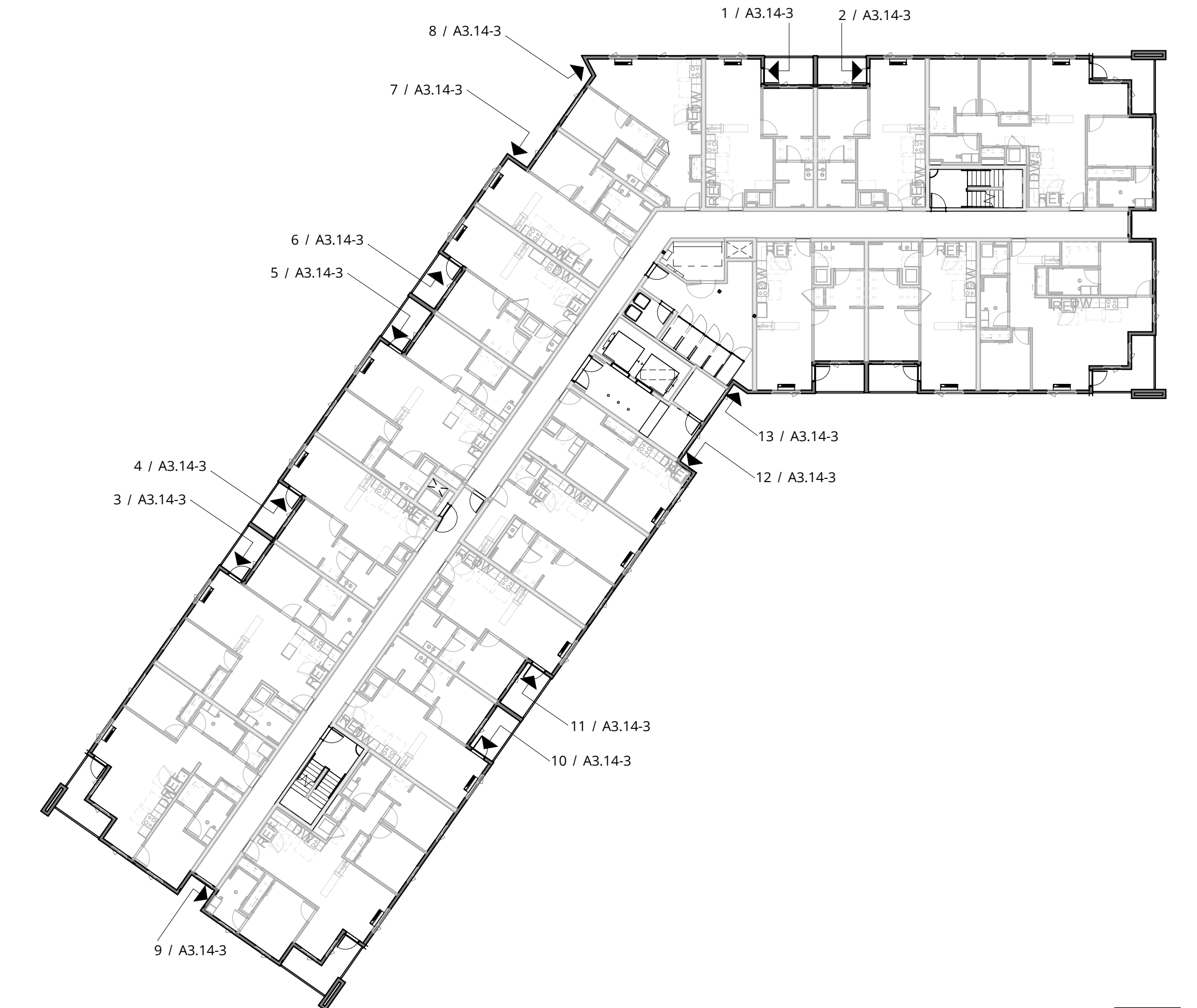
11 WEST ELEVATION
1/8" = 1'-0"



12 WEST ELEVATION
1/8" = 1'-0"



13 WEST ELEVATION
1/8" = 1'-0"



KEY PLAN



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ELMONICA BUILDING 3
SW 170TH AND W BASELINE
REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

BUILDING ELEVATIONS

LAND USE

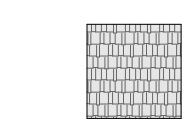
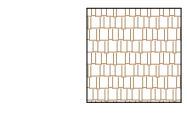

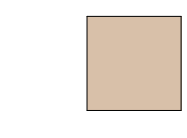
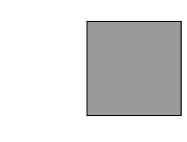
DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A3.14-3

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
7	

EXTERIOR MATERIAL LEGEND

-  FC SHAKE SIDING-PAINTED WALL ASSEMBLY L6.1, L6.2
-  FC SHAKE SIDING - STAINED WALL ASSEMBLY L6.1, L6.2
-  FC LAP SIDING - STAINED WALL ASSEMBLY K6.1, K6.2
-  FC PANEL - STAINED WALL ASSEMBLY J6.1, J6.2, J6.3
-  FC PANEL - PAINTED WALL ASSEMBLY J6.1, J6.2, J6.3

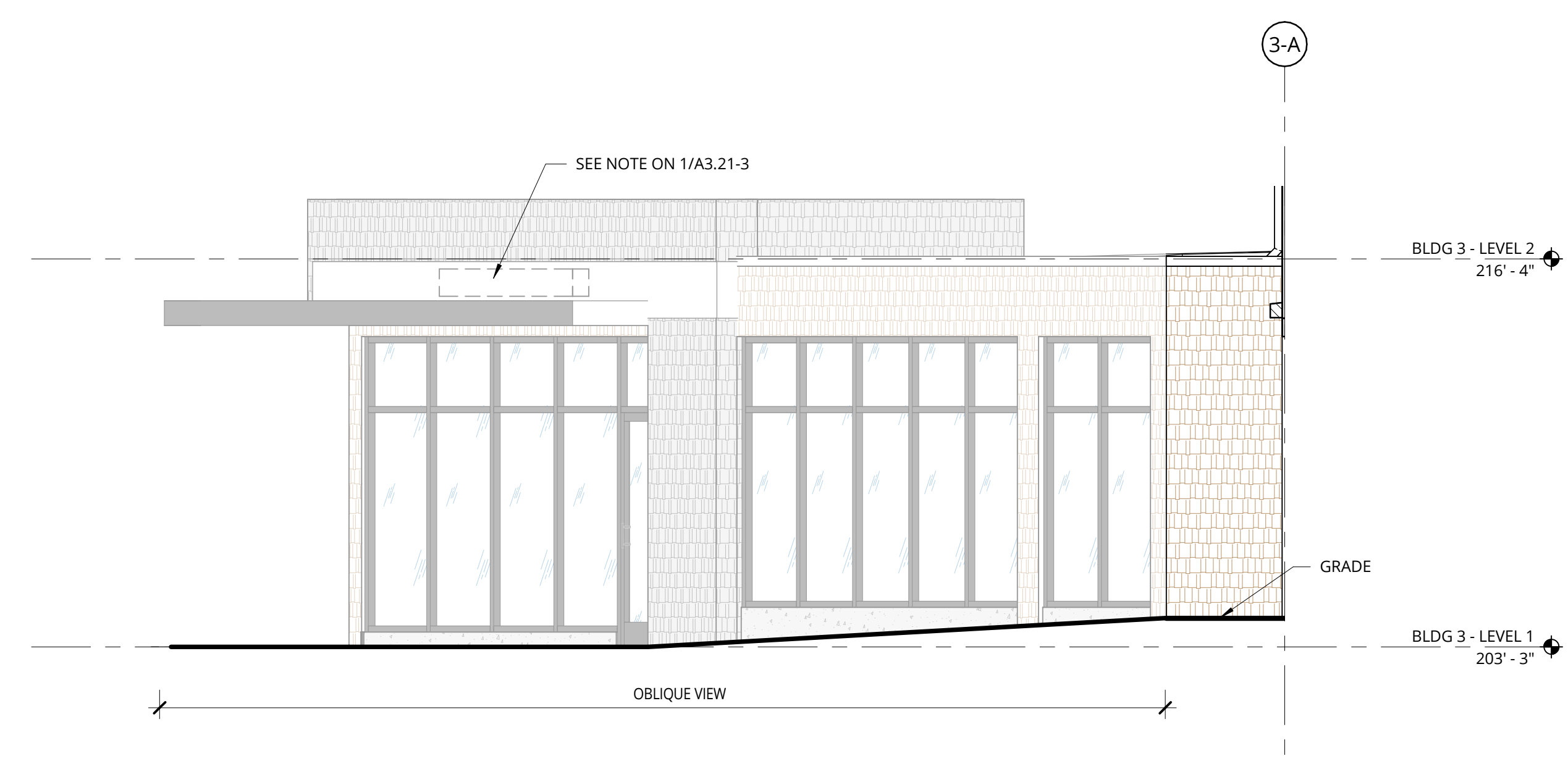


GENERAL NOTES - EXTERIOR ELEVATIONS

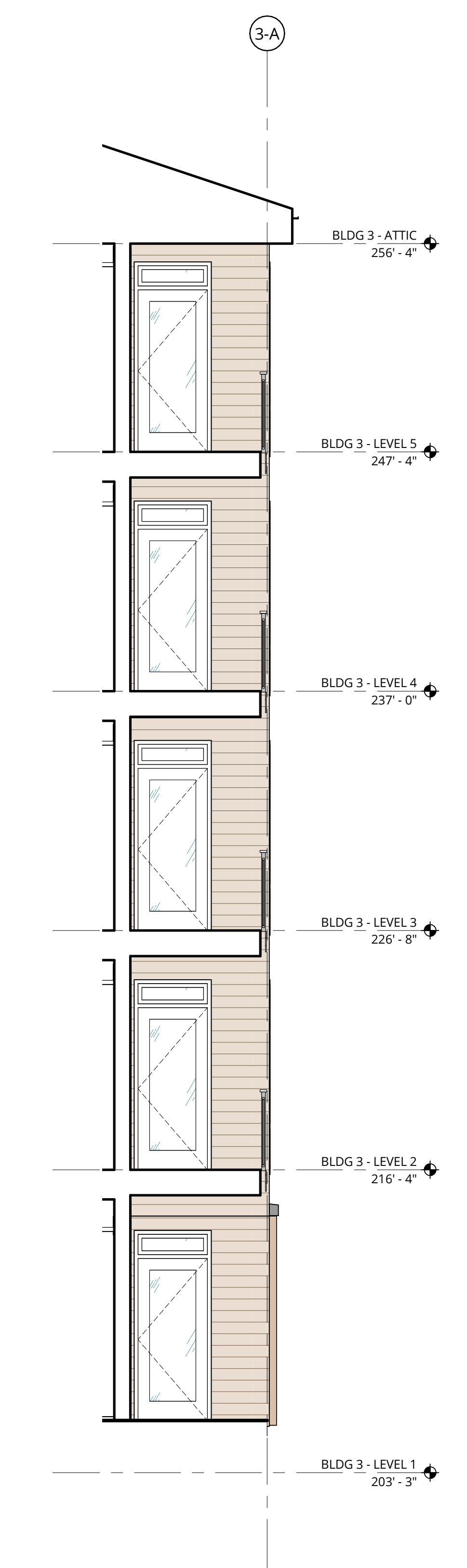
1. REFER TO SHEET **A0.01** FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL (OR PROJECT DATUM).
3. SEE DOOR SCHEDULE SHEET A12.01 FOR DOOR LOCATIONS AND TYPES.
4. SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
5. REFER TO **A0.11** FOR EXTERIOR WALL TYPES.
6. SEE SHEET **A12.21** FOR WINDOW AND LOUVER INFORMATION.
7. ALL FENESTRATION (STOREFRONT AND WINDOW WALLS) SHALL BE NFRC CERTIFIED. PROVIDE LABEL CERTIFICATES TO THE ON-SITE CITY INSPECTOR AT THE PROJECT SITE PRIOR TO INSTALLATION.
8. AHJ DESIGN REVIEW AND APPROVAL DOES NOT SUPERSEDE THE SIGN CODE. OBTAIN SEPARATE SIGN PERMIT PRIOR TO INSTALLATION OF EXTERIOR BUILDING SIGNAGE.
9. DOORS INTO ELECTRICAL CONTROL PANEL ROOMS SHALL BE MARKED WITH A PLAINLY VISIBLE AND LEGIBLE SIGN STATE "ELECTRICAL ROOM" OR APPROVED WORDING.



1 BUILDING 3 - EAST RETAIL/ENTRY 1
1/4" = 1'-0"



2 BUILDING 3 - EAST RETAIL/ENTRY 2
1/4" = 1'-0"



3 BUILDING 3 - DECK TYPICAL
1/4" = 1'-0"

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ELMONICA BUILDING 3
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

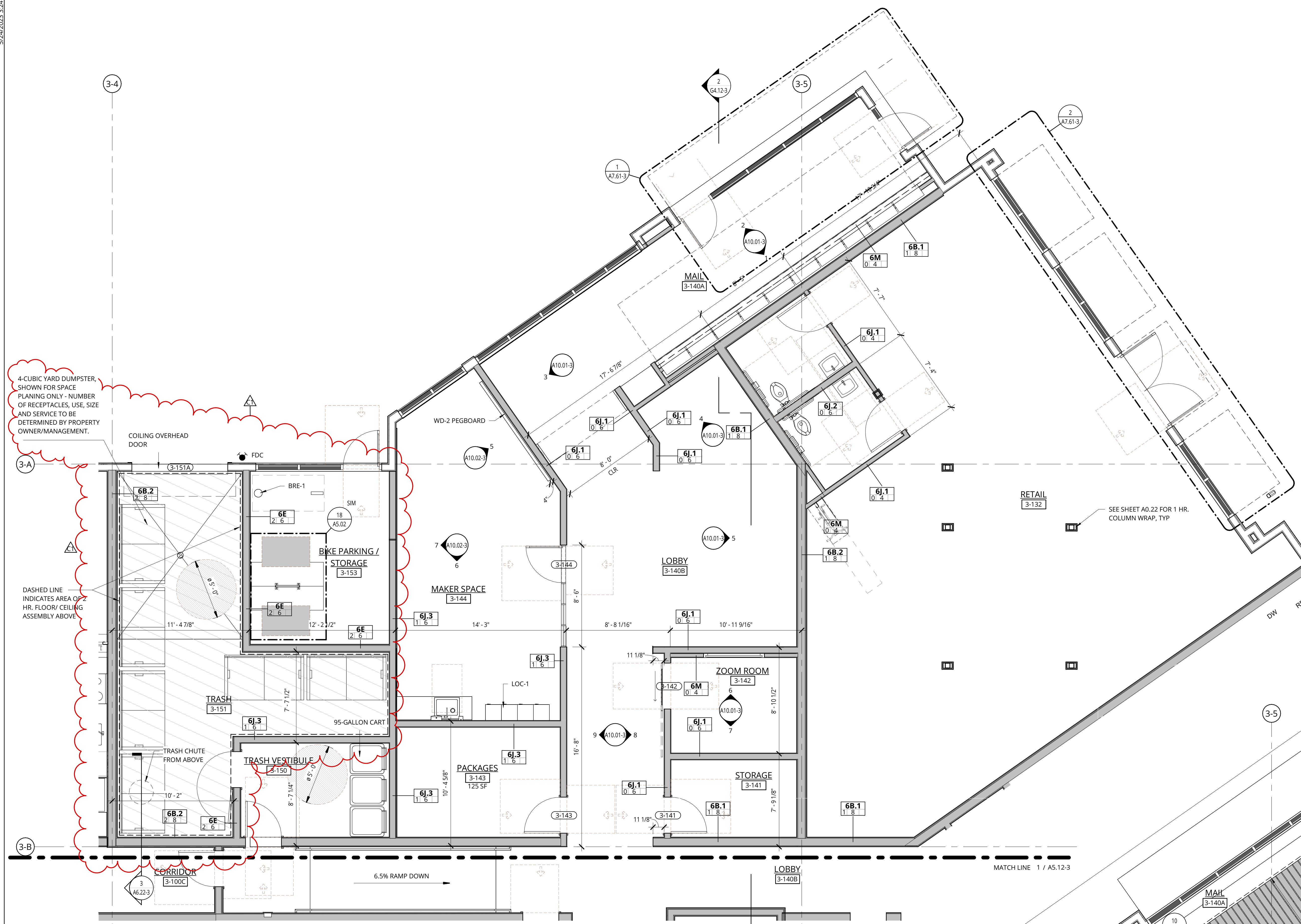
REVISION	DATE	REASON FOR ISSUE
C	4/28/2023	Land Use Revision 2

ENLARGED ELEVATIONS

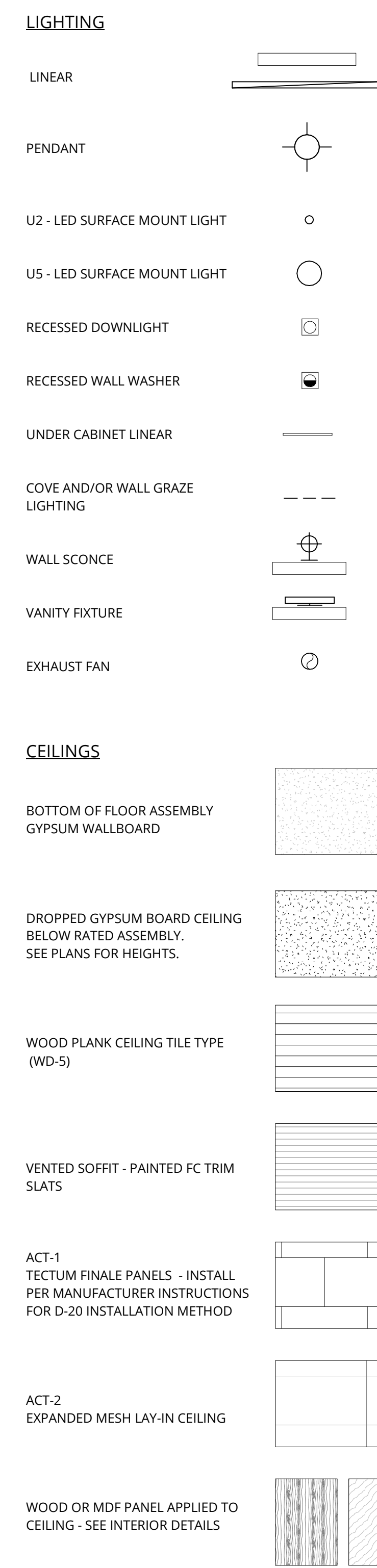
LAND USE

DATE 5.25.2023	PROJECT NUMBER 215390
SHEET NUMBER	

A3.21-3



RCP LEGEND



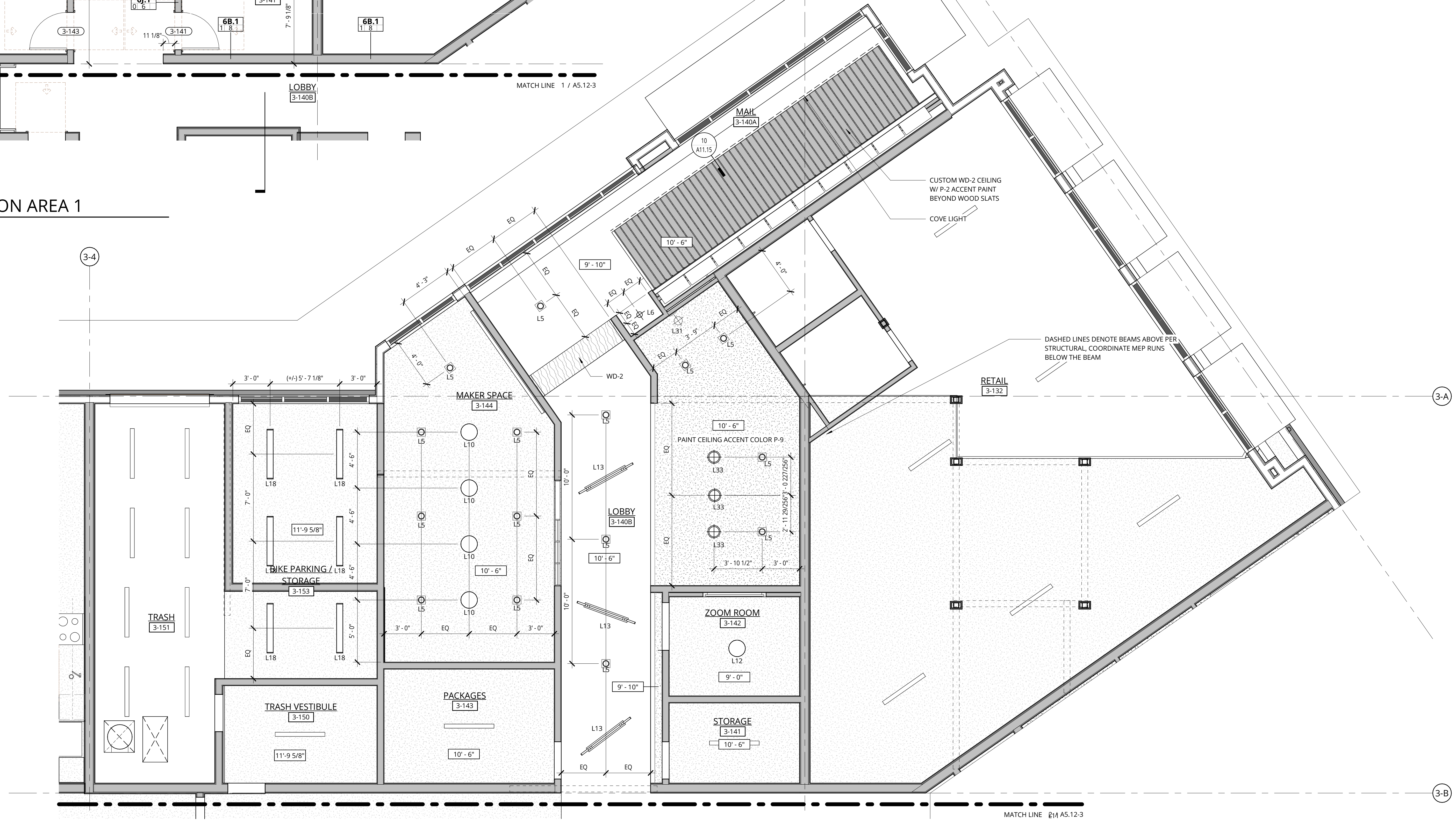
GENERAL NOTES - ENLARGED PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SLAB PLANS FOR CONCRETE AND MASONRY WALL LOCATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.
- SEE SHEETS **A0.21, A0.21** FOR WALL ASSEMBLY INFORMATION.
- SEE SHEETS BEGINNING ON A5.01 FOR TYPICAL ACCESSIBILITY CLEARANCES.
- PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING AS.01.
- DWELLING UNITS ARE TYPE B UNLESS NOTED OTHERWISE. PROVIDE REINFORCEMENT IN WALLS FOR FUTURE GRAB BAR INSTALLATION AT ALL WATER CLOSETS AND BATHTUB/SHOWERS IN ALL RESIDENTIAL UNITS. SEE SHEETS **A5.05** AND **A5.06**.
- TYPE A UNIT CLOSETS:
 - BEDROOM CLOSETS: PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 36" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 72" AFF.
 - ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FOR ONE HALF OF THE CLOSET WIDTH AND ONE AT 36" AFF FOR THE REMAINING HALF.
- TYPE B UNIT BEDROOM CLOSETS:
 - PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 72" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF, FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 36" AFF.
 - TYPE B UNIT ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FULL WIDTH.
- ALIGN CENTER OF CLOSET DOORS WITH THE CENTER OF CLOSET IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.
- ALL REACH-IN RESIDENTIAL CLOSETS ARE 24" DEEP INSIDE CLEAR (FACE OF WALL TO FACE OF WALL) UNLESS NOTED OTHERWISE.
- WING WALLS ADJACENT TO CASEWORK ARE 2"-2" LONG, UNLESS NOTED OTHERWISE.
- WING WALLS OR FURRING WALLS ADJACENT TO BATHTUBS OR SHOWERS EXTEND A MAXIMUM OF 1-1/2" BEYOND FACE OF SHIRT OR CURB, UNLESS NOTED OTHERWISE SUCH THAT TOTAL OVERLAP INTO A ACCESSIBILITY CLEARANCE (INCLUDING BASE) IS 2" OR LESS.
- CONFORM TO MOUNTING HEIGHT REQUIREMENTS SHOWN ON **191AS.01**.
- PROVIDE CANE DETECTION IN ACCORDANCE WITH DETAIL **3/AS.019** LOW OBJECTS WHICH PROJECT BEYOND THE LIMITS SHOWN IN DETAIL **3/AS.01**.
- SEE VANITY ELEVATIONS ON SHEETS **A2B2.1**.
- SEE KITCHEN ELEVATIONS ON SHEETS **A10.11, A10.12, AND A10.12** FOR ACCESSIBLE OUTLET AND SWITCH LOCATIONS.
- PROVIDE BLOCKING FOR WALL MOUNTED BIKE RACK.
- PROVIDE ADDITIONAL LAYERS OF GYP AS REQUIRED TO ALIGN FINISHES.
- PROVIDE OUTLET AT SIDEWALL, 6" MAX FROM THE EDGE OF THE COUNTER.

GENERAL NOTES REFLECTED CEILING PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- ADJUST LIGHT GAUGE METAL FRAMING SIZE, GAUGE AND SPACING AT SOFFITS AND CEILINGS TO MEET MANUFACTURER'S PUBLISHED SPAN TABLES, SPECIFIED DEFLECTION CRITERIA, AND TO SUPPORT BOTH GRAVITY AND LATERAL LOADS.
- CEILING AND SOFFIT HEIGHTS ARE MEASURED VERTICALLY FROM THE FINISHED FACE OF CEILING OR SOFFIT TO FLOOR LEVEL, UNLESS NOTED OTHERWISE.
- LOCATE SPRINKLER HEADS, HVAC GRILLS, TRIM, SMOKE DETECTORS, DAS ANTENNAS, RECESSED LIGHT FIXTURES AND OTHER CEILING MOUNTED DEVICES IN THE CENTER OF ACOUSTICAL CEILING TILES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
- ALIGN HVAC GRILLS, DIFFUSERS AND OTHER TRIM WITH SPRINKLER HEADS, SMOKE DETECTORS, SPEAKERS AND OTHER CEILING MOUNTED DEVICES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
- CENTER LUMINAIRES (OR GROUPS OF LUMINAIRES) WITHIN THE ROOM OR SPACE, AND CENTER FIXTURES WITHIN CEILING TILE PANELS, UNLESS DIMENSIONS OTHERWISE.
- PROVIDE CONTROL JOINTS IN GYPSUM WALLBOARD SOFFITS AND CEILINGS AS INDICATED, OR AT MAX 30" ON CENTER EACH WAY IF NOT INDICATED.
- REFER TO MECHANICAL DRAWINGS FOR VENTING AND DUCTING LOCATIONS.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURES TYPES, LIGHTING SWITCHING LOCATIONS, LOW VOLTAGE DESIGN, AND RECEPTACLE LOCATIONS.
- FIRE STOP ALL PENETRATIONS THROUGH RATED WALLS AND CEILINGS. PROVIDE FIRE DAMPERS AND/OR FIRE SMOKE DAMPERS AT OPENINGS. REFER TO MECHANICAL DRAWINGS.
- PROVIDE ACCESS PANELS (FIRE RATED WHERE REQUIRED) AT ALL NECESSARY LOCATIONS.
- ALL WALLS ARE FULL HEIGHT TO STRUCTURE ABOVE UNLESS OTHERWISE NOTED. PROVIDE FIRE STOPPING AND ACOUSTIC SEALANT AT RATED WALLS. SEE FIRE/LIFE SAFETY SHEETS INSTRUCTIONS ON G2.01 FOR ADDITIONAL INFORMATION.
- PROVIDE SEISMIC JOINTS IN ALL CEILINGS AS REQUIRED BY THE MOST STRINGENT APPLICABLE CODE WHETHER INDICATED ON THE DRAWINGS OR NOT. FOR LOCATIONS NOT SHOWN, REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
- TYPICAL GYPSUM WALLBOARD ON CEILINGS IS 5/8" INCH UNLESS NOTED OTHERWISE.
- REFER TO INDIVIDUAL ENLARGED UNIT PLANS FOR CEILING INFORMATION WITHIN RESIDENTIAL UNITS.
- DECORATIVE LIGHTING WITH TAGS IS FOR AMENITY AREAS. REFER TO A8 SERIES FOR GENERAL AND BACK OF HOUSE LIGHTING.
- REFER TO ROOM FINISH SCHEDULE FOR ROLLERSHADE LOCATIONS. ALL EXTERIOR WINDOWS WITHIN THAT ROOM ARE TO RECEIVE A ROLLERSHADE, U.N.O.

1 BUILDING 3 - LEVEL 1 - ENLARGED PLAN - COMMON AREA 1
1/4" = 1'-0"



2 BUILDING 3 - LEVEL 1 - RCP - COMMON AREA 1
1/4" = 1'-0"

NOT FOR CONSTRUCTION



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ELMONICA BUILDING 3
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

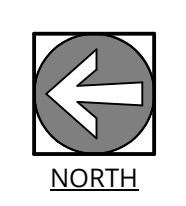
REVISION	DATE	REASON FOR ISSUE

ENLARGED PLANS - COMMON AREAS

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390

SHEET NUMBER: **A5.11-3**



GENERAL NOTES - FLOOR PLANS

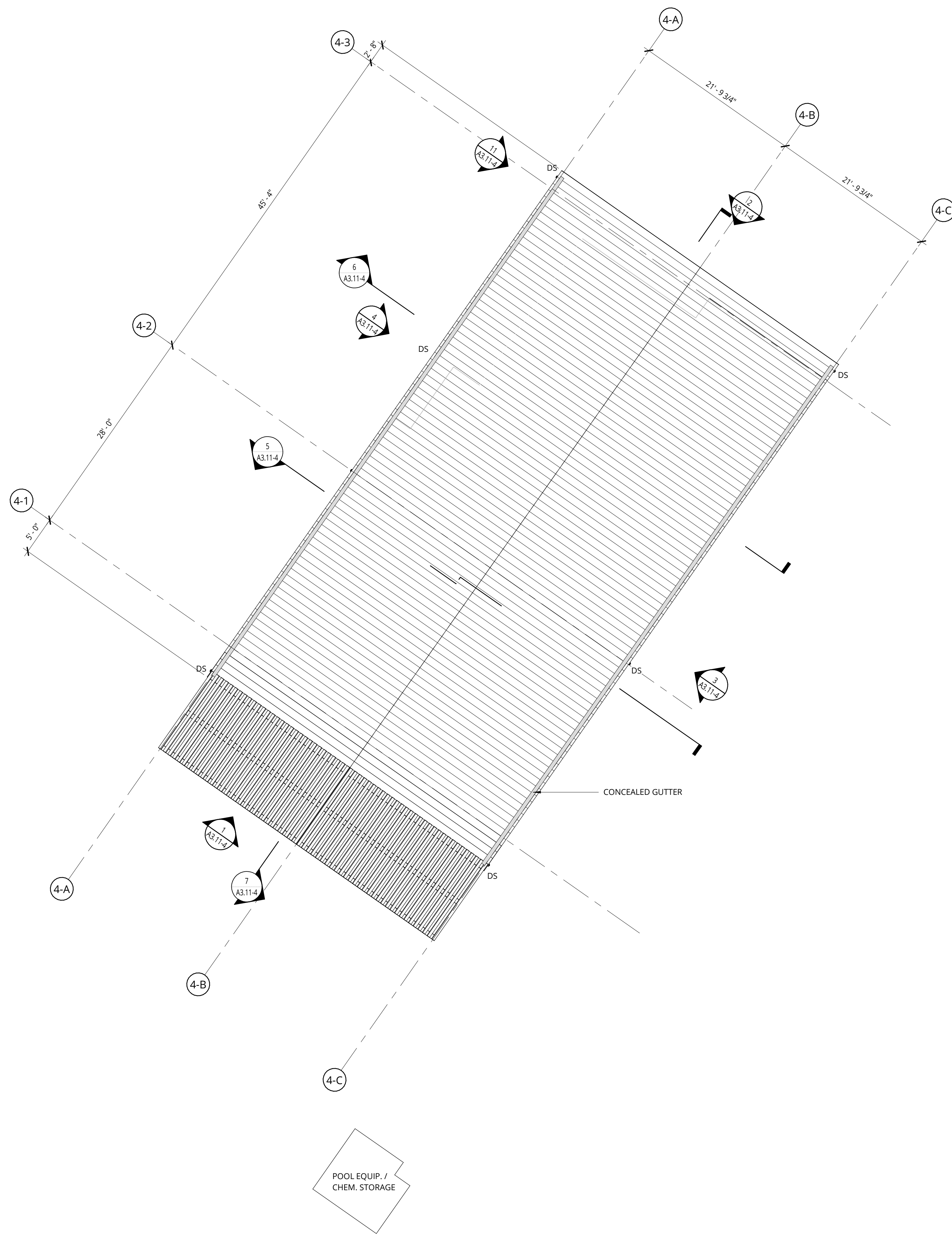
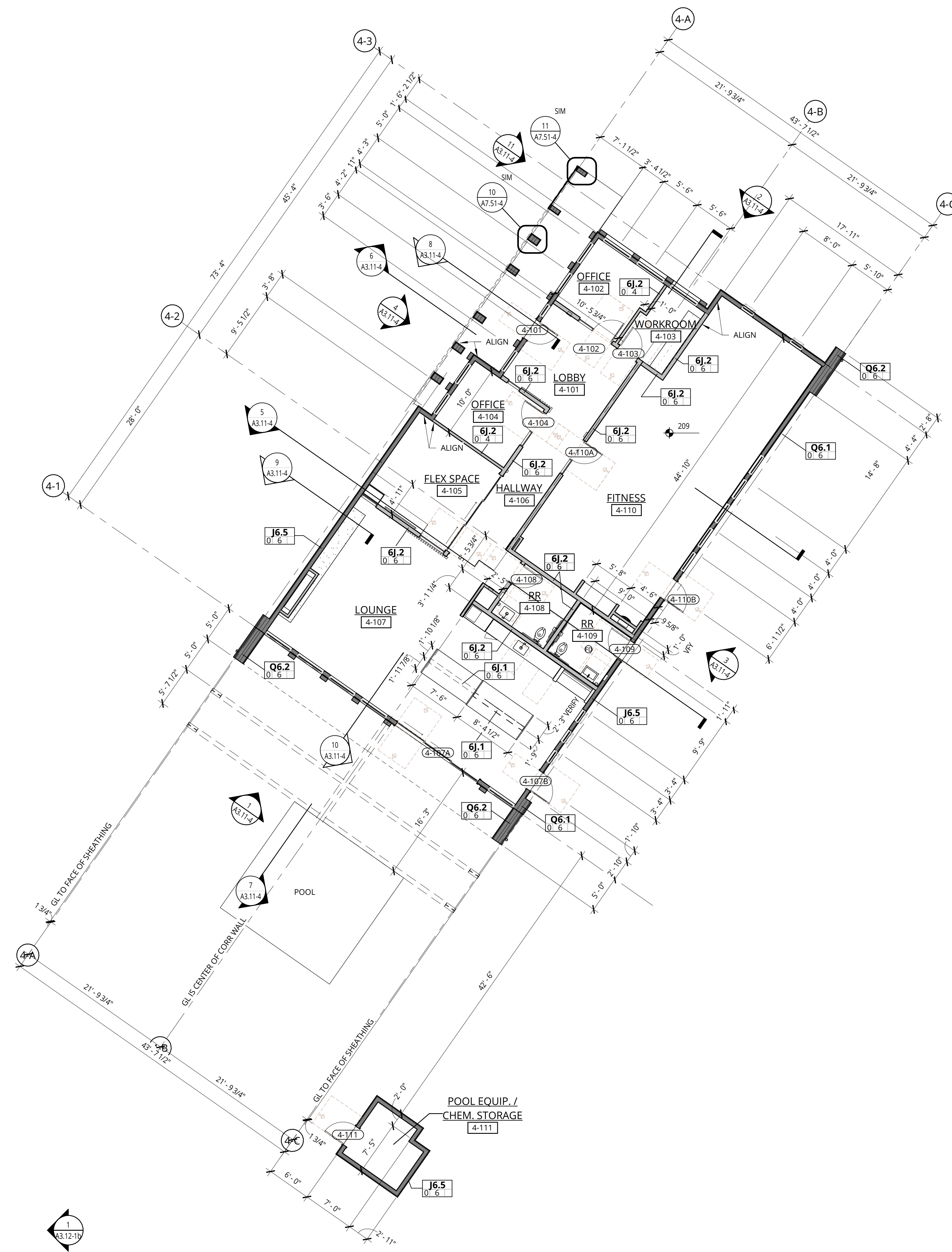
1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. SEE SHEETS **A0.11** FOR WALL ASSEMBLIES.
3. SEE FIRE/LIFE SAFETY SHEETS BEGINNING ON **62.21** FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
4. REFER TO STRUCTURAL DRAWINGS FOR COLUMNS, SHEAR WALL AND BEAM SIZES.
5. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
6. PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING **A0.01**. REFER TO SLAB LAYOUT PLANS FOR CONCRETE AND MASONRY WALL LOCATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.
7. SEE ENLARGED PLANS FOR DETAILED DIMENSIONS, WALL TAGS AND DOOR TAGS.
8. SEE SHEETS BEGINNING ON A5.01 FOR TYPICAL ACCESSIBILITY CLEARANCES.
9. REFER TO SHEETS **62.15**, **62.18**, **62.14 AND 62.15** TO REFERENCE THE SLOPE AND CROSS SLOPE FOR ALL MEANS OF EGRESS EXIT DISCHARGE AND CURB HEIGHTS.

GENERAL NOTES - ROOF PLANS

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. SEE SHEET **A0.11** FOR HORIZONTAL ASSEMBLIES.
3. PROVIDE ROOFING MANUFACTURERS STANDARD WALKWAY PADS BETWEEN ALL ROOF HATCHES, ROOF ACCESS DOORS, AND ROOFTOP EQUIPMENT AND AROUND PERIMETER OF ALL ROOFTOP EQUIPMENT.
4. PROVIDE POSITIVE ROOF SLOPE TO DRAIN AT MINIMUM SLOPE OF 1/4" PER FOOT MEASURED ALONG VALLEYS, UNLESS NOTED OTHERWISE.
5. ROOF PENETRATIONS SHOWN ARE SCHEMATIC IN NATURE; COORDINATE ACTUAL SIZE, TYPE AND LOCATION OF EQUIPMENT, CURBS, AND ANY OTHER ROOF PENETRATIONS THAT MAY BE REQUIRED TO SUPPORT, SECURE OR FLASH ROOFTOP EQUIPMENT.
6. VERIFY AND COORDINATE SLAB PENETRATIONS INCLUDING SLEEVES & BLOCKOUTS AS REQUIRED FOR PLUMBING, MECHANICAL, ELECTRICAL, ETC. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES.
7. COMPLY WITH THE MOST STRINGENT OF SMACNA, NRCA OR MANUFACTURERS' REQUIREMENTS FOR FLASHINGS, COPINGS AND OTHER SHEET METAL CONSTRUCTION.
8. VERIFY ROOFING MANUFACTURERS MINIMUM REQUIREMENTS FOR LAPPING OF ALL MATERIALS. BRING CONFLICTS WITH ARCHITECTURAL DETAILS TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
9. REFER TO DETAILS FOR TOP OF PARAPET DATUMS.
10. SEE MEP AND LANDSCAPE DRAWINGS FOR ROOFTOP FURNISHINGS, EQUIPMENT AND PENETRATIONS.

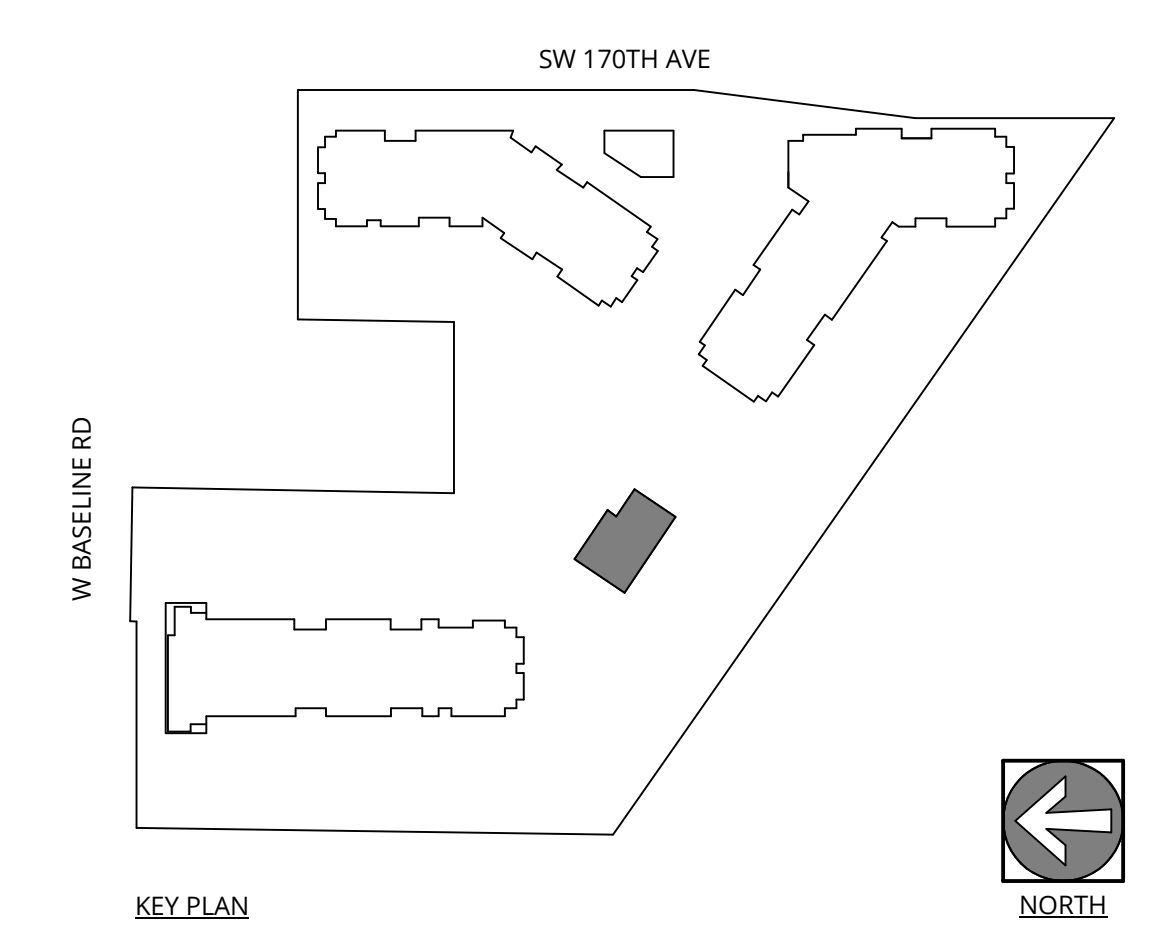
KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT



1 BUILDING 4 - LEVEL 1 - PLAN
1/8" = 1'-0"

2 BUILDING 4 - ROOF - PLAN
1/8" = 1'-0"



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ELMONICA BUILDING 4
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

LEVEL 1 FLOOR PLAN

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A2.01-4

GENERAL NOTES - EXTERIOR ELEVATIONS

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL (OR PROJECT DATUM).
3. SEE DOOR SCHEDULE SHEET A12.01 FOR DOOR LOCATIONS AND TYPES.
4. SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
5. REFER TO A0.11 FOR EXTERIOR WALL TYPES.
6. SEE SHEET A0.22 FOR WINDOW AND COVER INFORMATION.
7. ALL PENETRATION (STOREFRONT AND WINDOW WALL) SHALL BE NFRC CERTIFIED. PROVIDE LABEL CERTIFICATES TO THE ON-SITE CITY INSPECTOR AT THE PROJECT SITE PRIOR TO INSTALLATION.
8. A/H DESIGN REVIEW AND APPROVAL DOES NOT SUPERSEDE THE SIGN CODE. OBTAIN SEPARATE SIGN PERMIT PRIOR TO INSTALLATION OF EXTERIOR BUILDING SIGNAGE.
9. DOORS INTO ELECTRICAL CONTROL PANEL ROOMS SHALL BE MARKED WITH A PLAINLY VISIBLE AND LEGIBLE SIGN STATE "ELECTRICAL ROOM" OR APPROVED WORKING.

GENERAL NOTES - BUILDING SECTIONS

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL (OR BUILDING DATUM).
3. SEE SHEET A0.22 FOR WINDOW SCHEDULE.
4. SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.

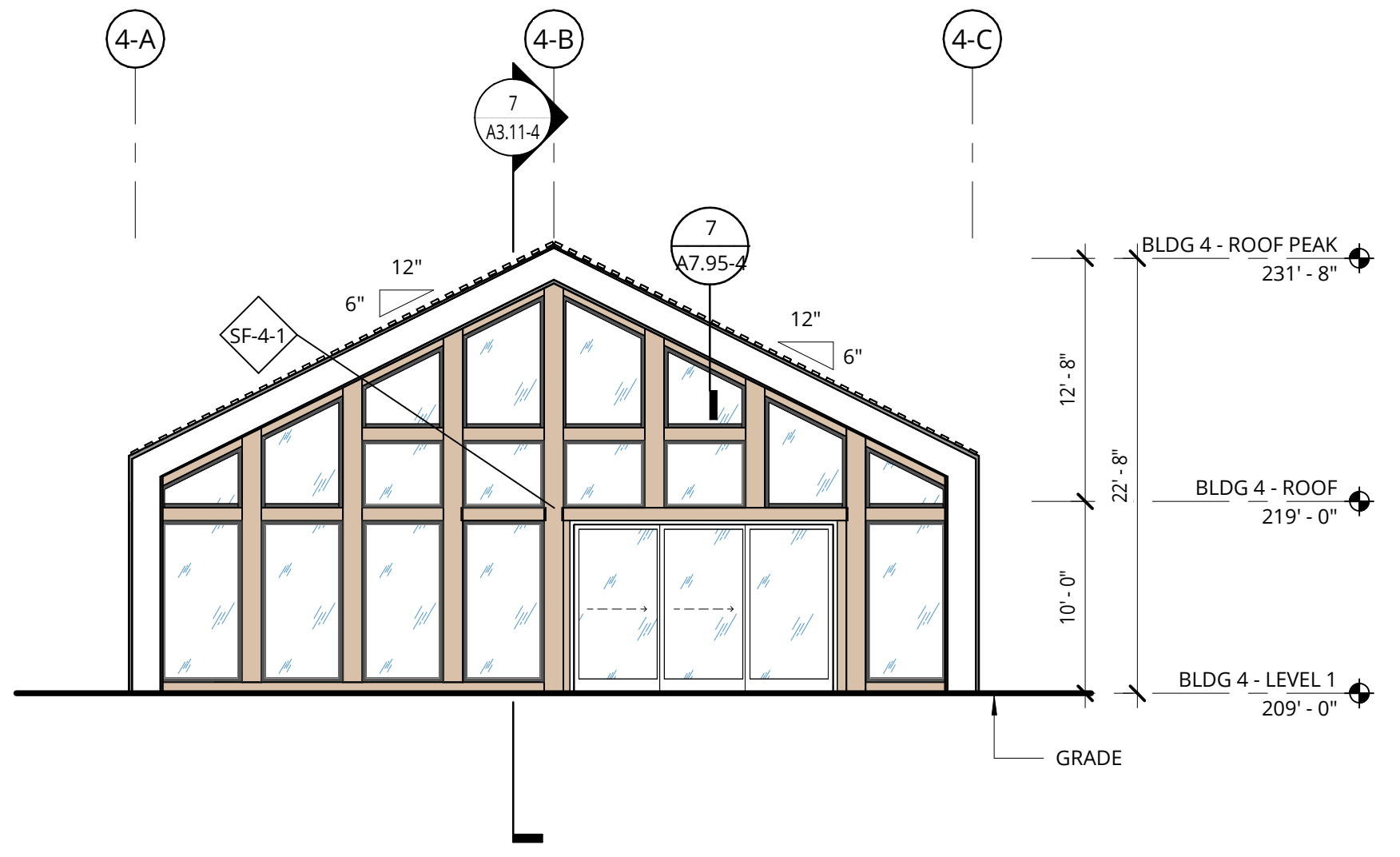
EXTERIOR MATERIAL LEGEND

- FC PANEL - STAINED WALL ASSEMBLY J6.4
- FC PANEL - PAINTED WALL ASSEMBLY J6.4
- FC PANEL WITH BATTENS - STAINED WALL ASSEMBLY J6.5
- METAL WALL PANEL WALL ASSEMBLY Q6-1,Q6.2

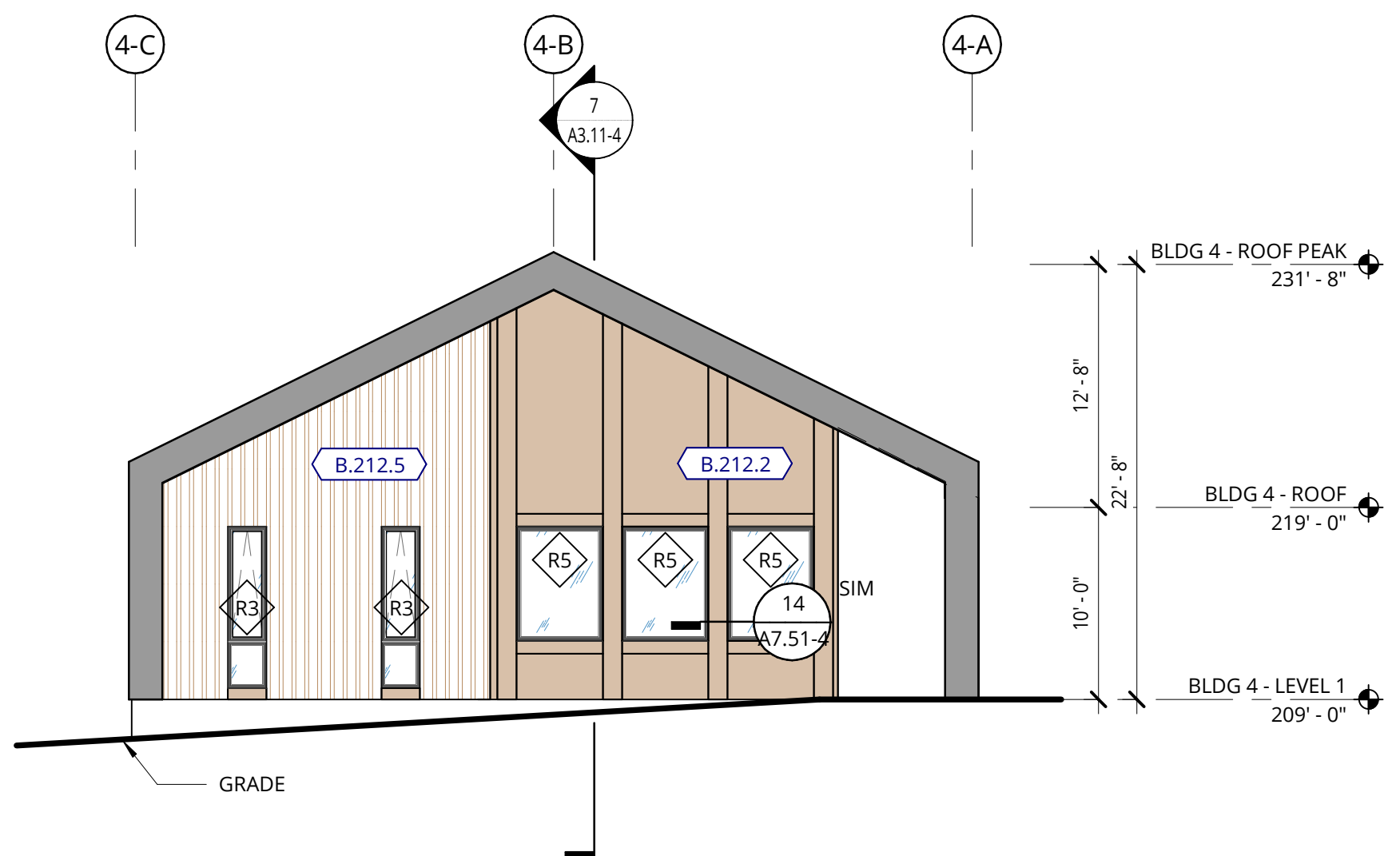
KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
B.212.2	FIBER CEMENT LAP SIDING (PAINTED)
B.212.5	FIBER CEMENT PANEL SIDING WITH BATTENS AT 8" O.C. (PAINTED)
B.213	METAL PANEL SIDING
B.316	METAL ROOFING - STANDING SEAM
B.412	BUILDING SIGNAGE (MONUMENT-BACKLIT CABINET/CANOPY-STEM MOUNTED LETTERS)
B.416	WOOD LOOK METAL TRELLIS/SCREEN

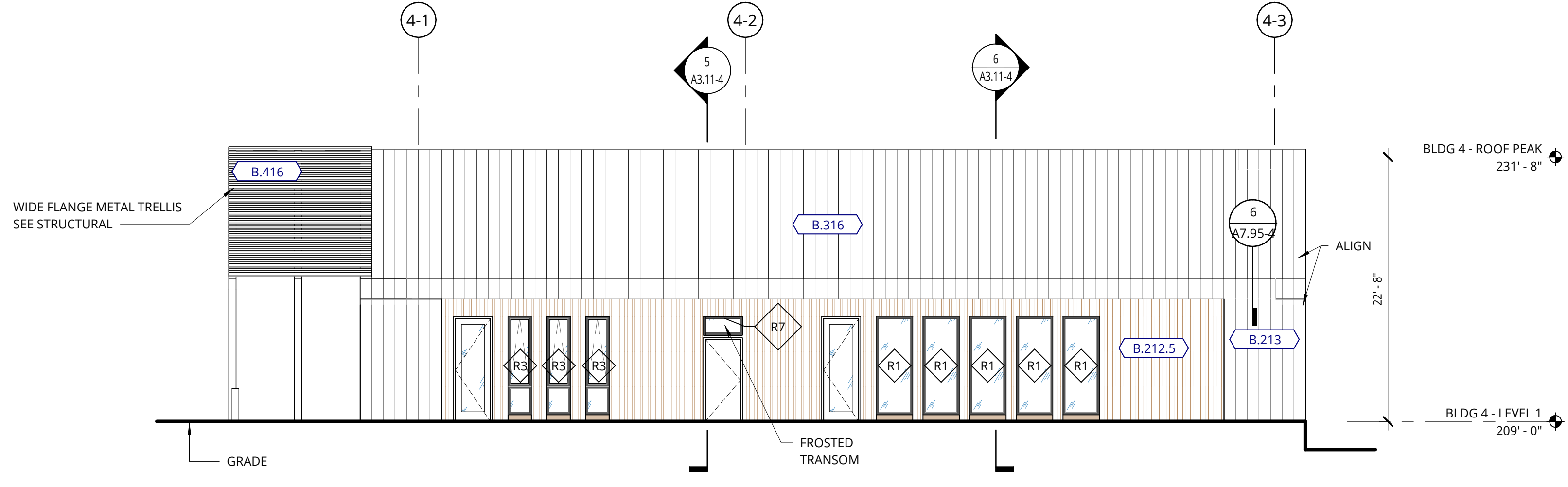
1 BUILDING 4 - AMENITY - WEST ELEVATION
1/8" = 1'-0"



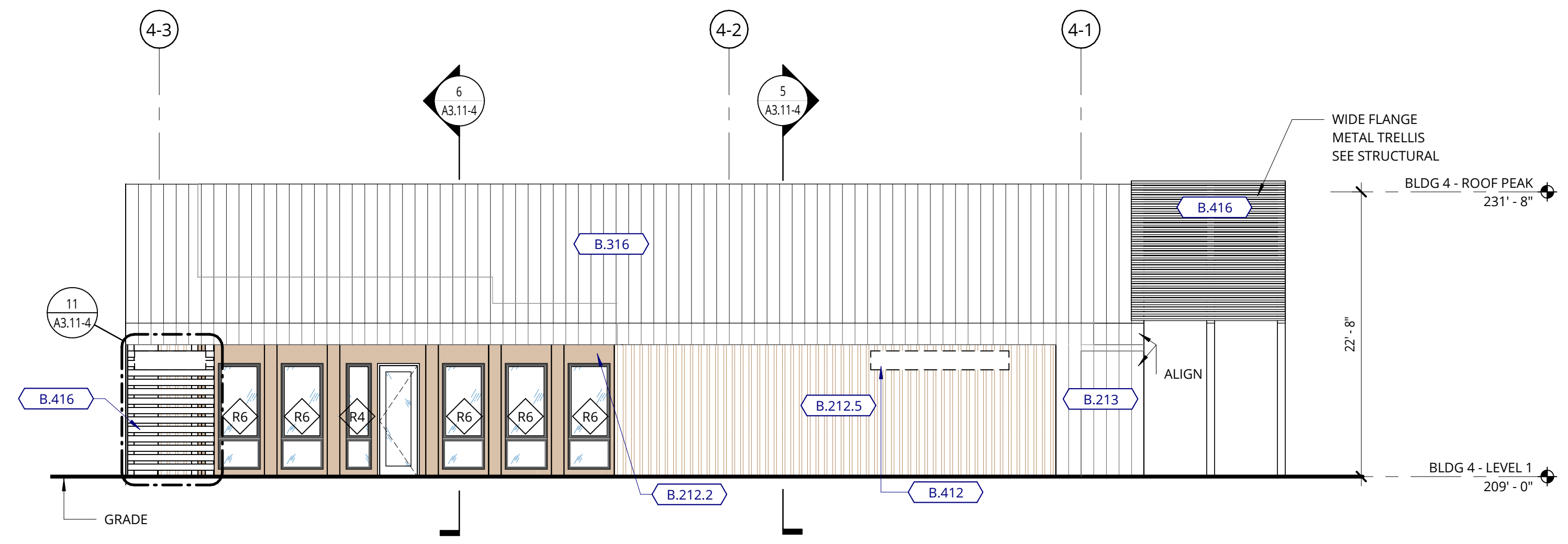
2 BUILDING 4 - AMENITY - EAST ELEVATION
1/8" = 1'-0"



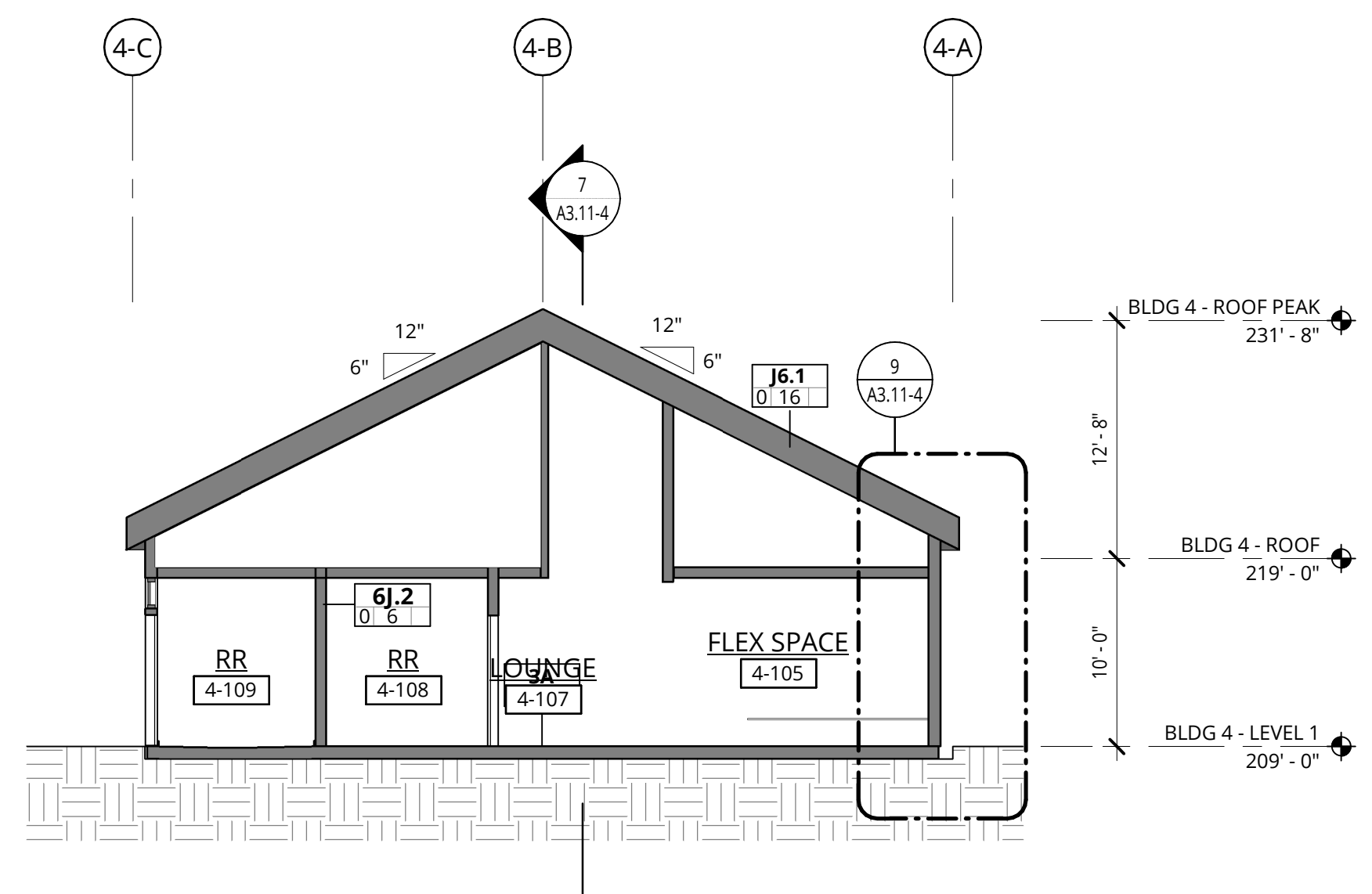
3 BUILDING 4 - AMENITY - SOUTH ELEVATION
1/8" = 1'-0"



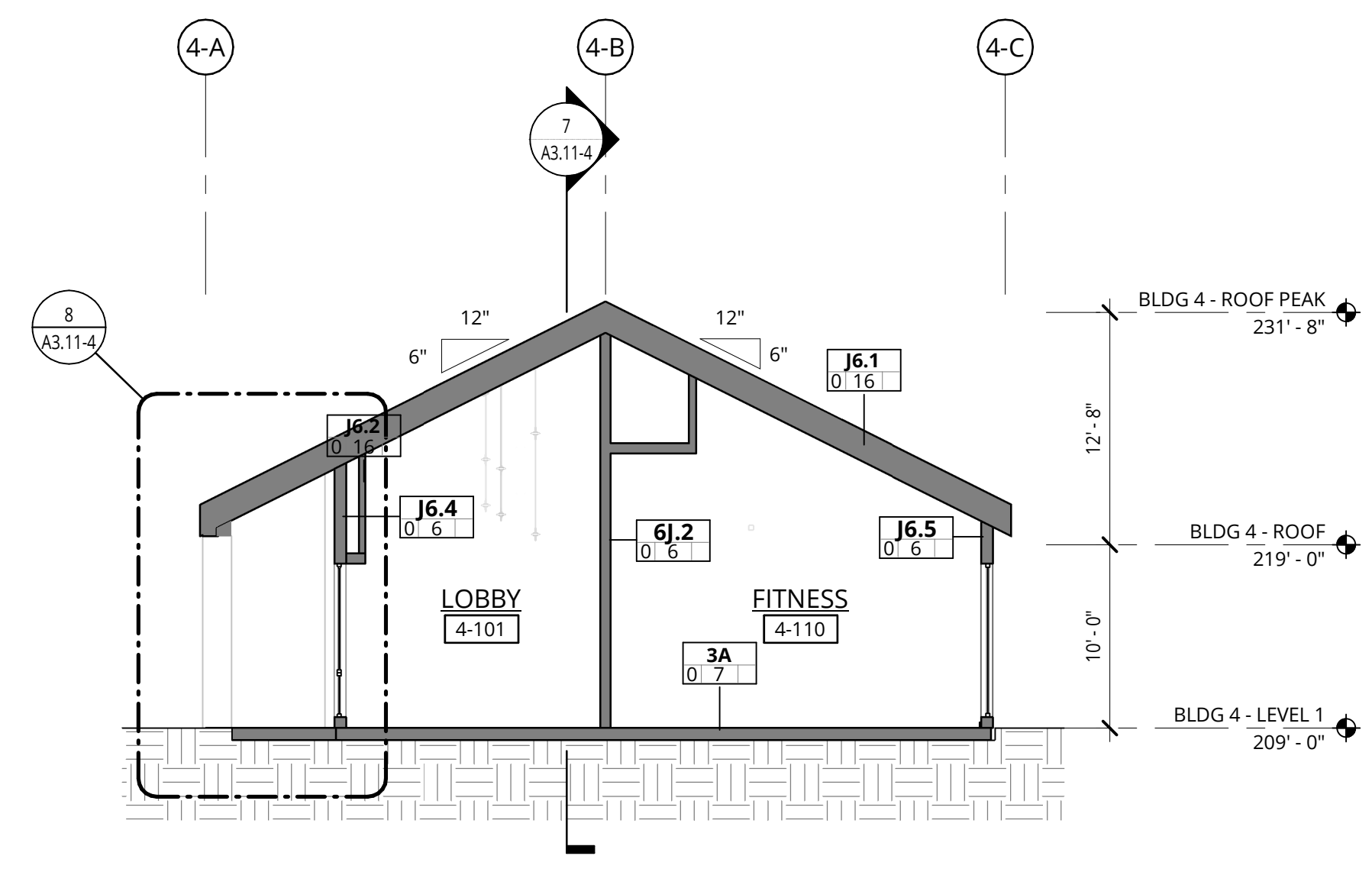
4 BUILDING 4 - AMENITY - NORTH ELEVATION
1/8" = 1'-0"



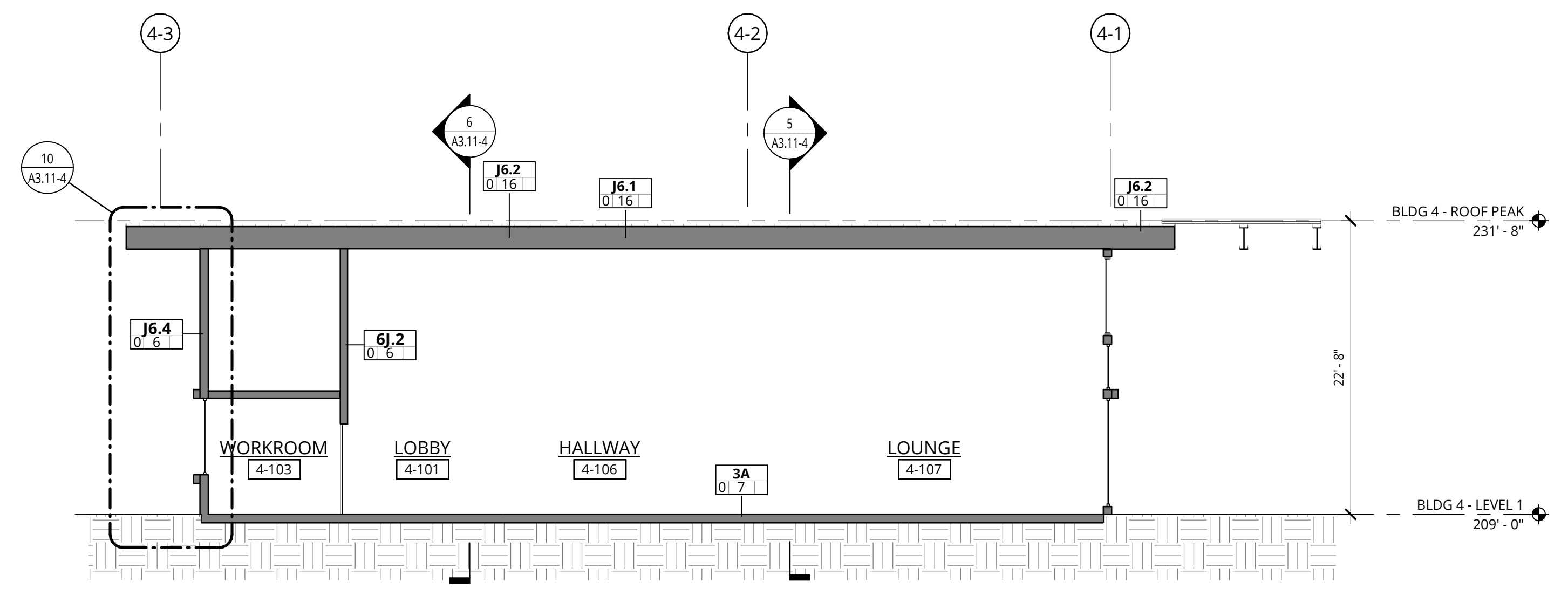
5 BUILDING 4 - N/S SECTION LOOKING WEST
1/8" = 1'-0"



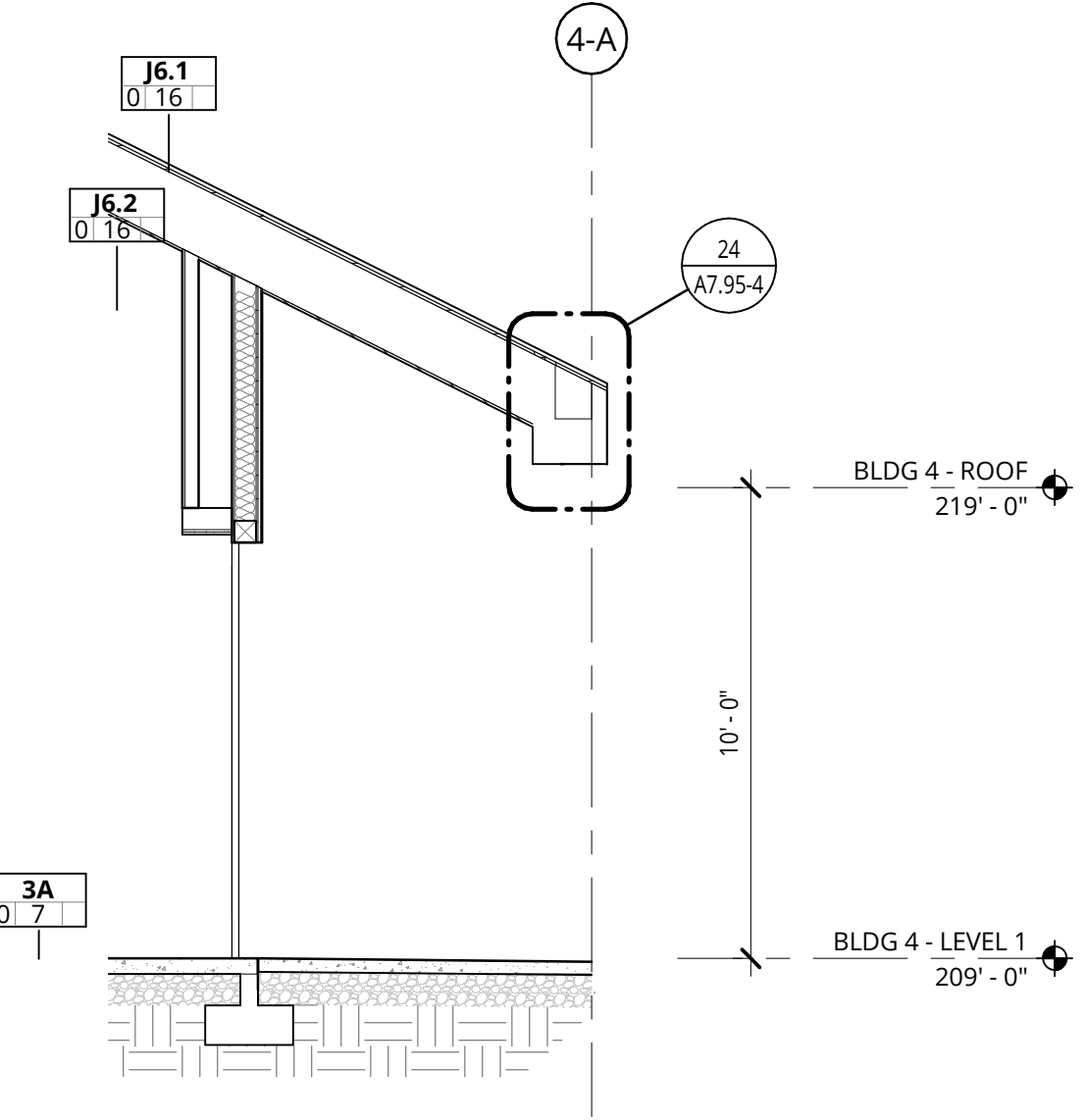
6 BUILDING 4 - N/S SECTION LOOKING EAST
1/8" = 1'-0"



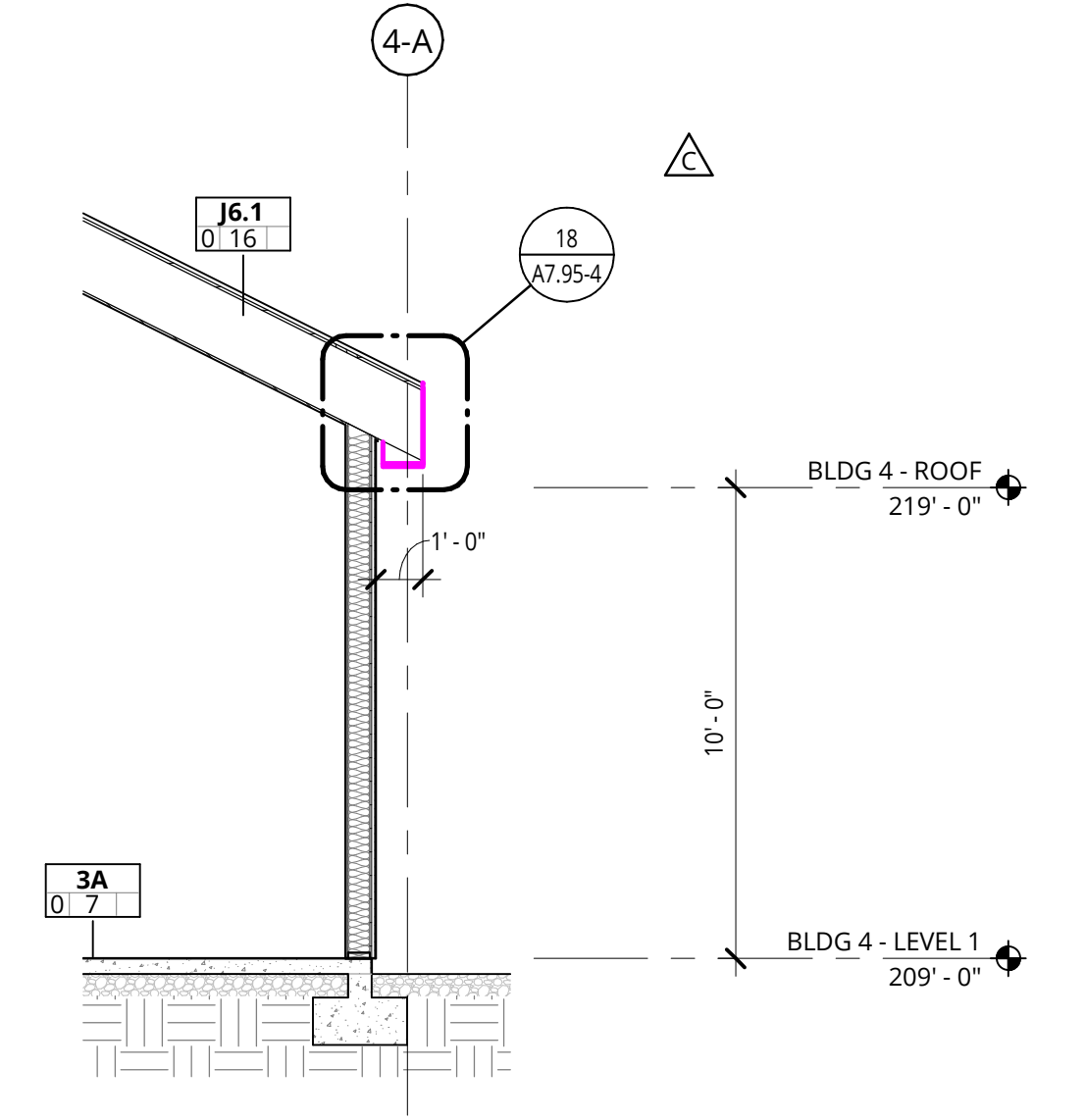
7 BUILDING 4 - E/W SECTION LOOKING NORTH
1/8" = 1'-0"



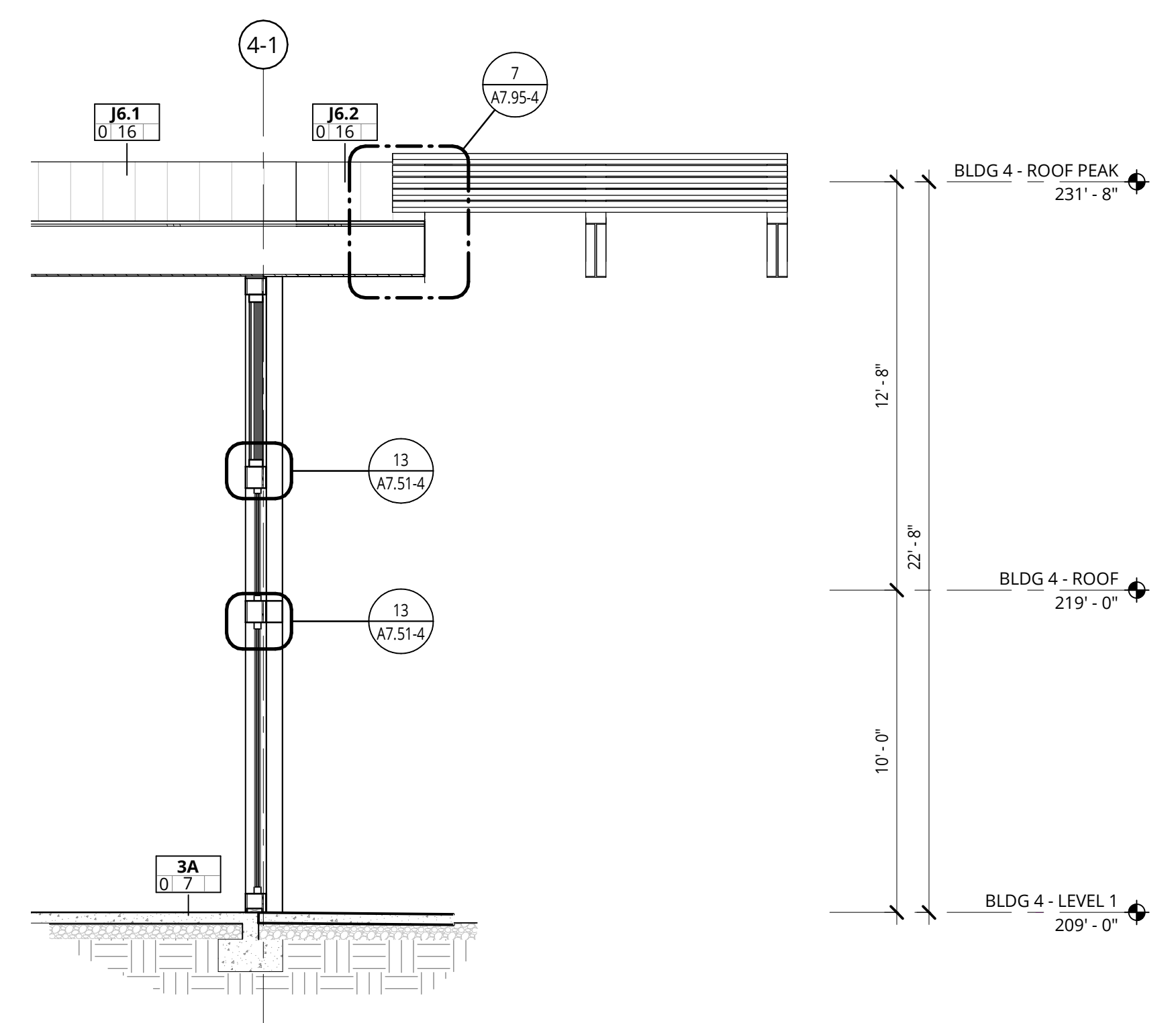
8 BLDG 4 WALL SECTION
1/4" = 1'-0"



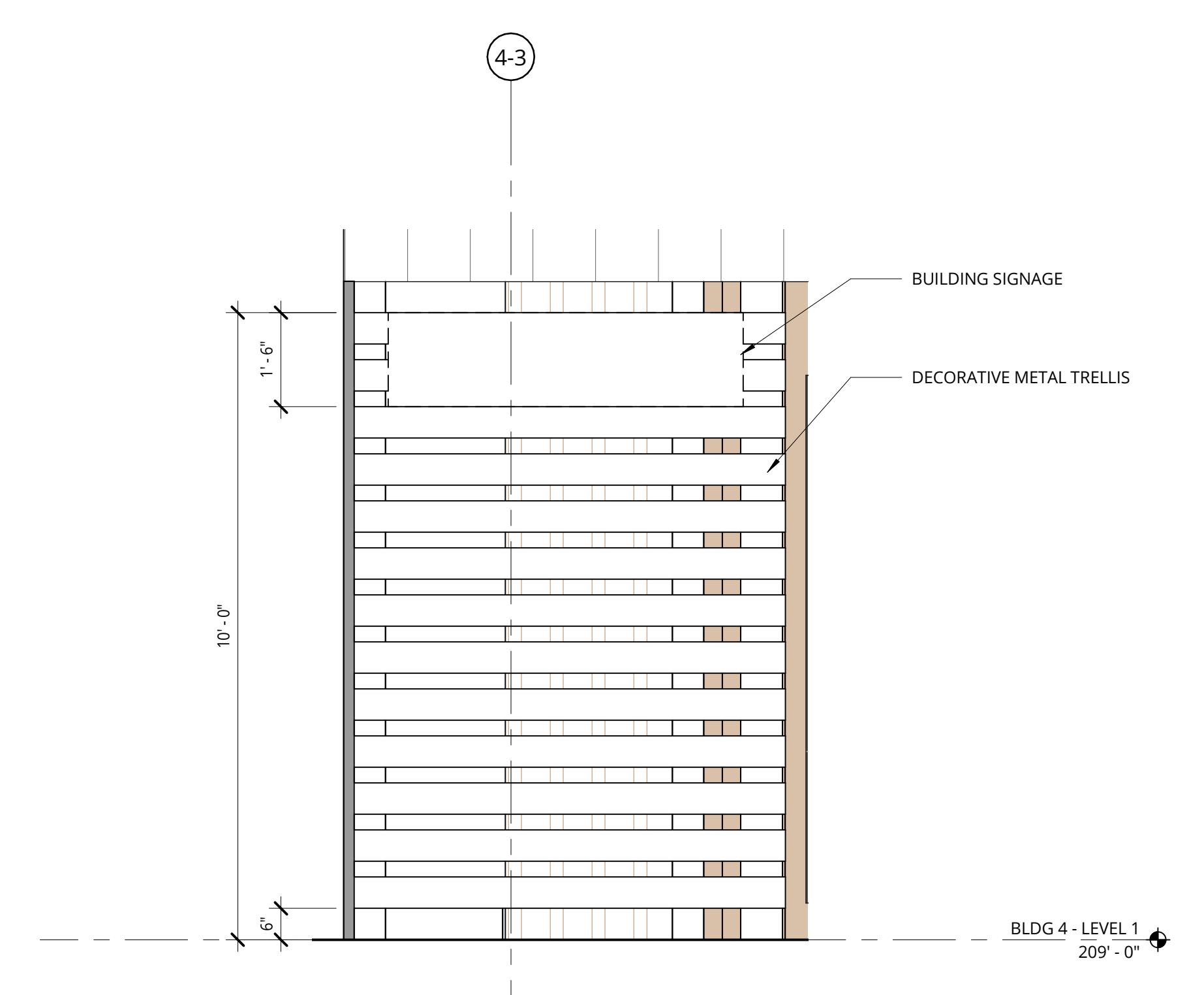
9 BLDG 4 WALL SECTION
1/4" = 1'-0"



10 BLDG 4 WALL SECTION
1/4" = 1'-0"



11 BUILDING 4 - ENTRY TRELLIS
1/2" = 1'-0"



ELMONICA BUILDING 4
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

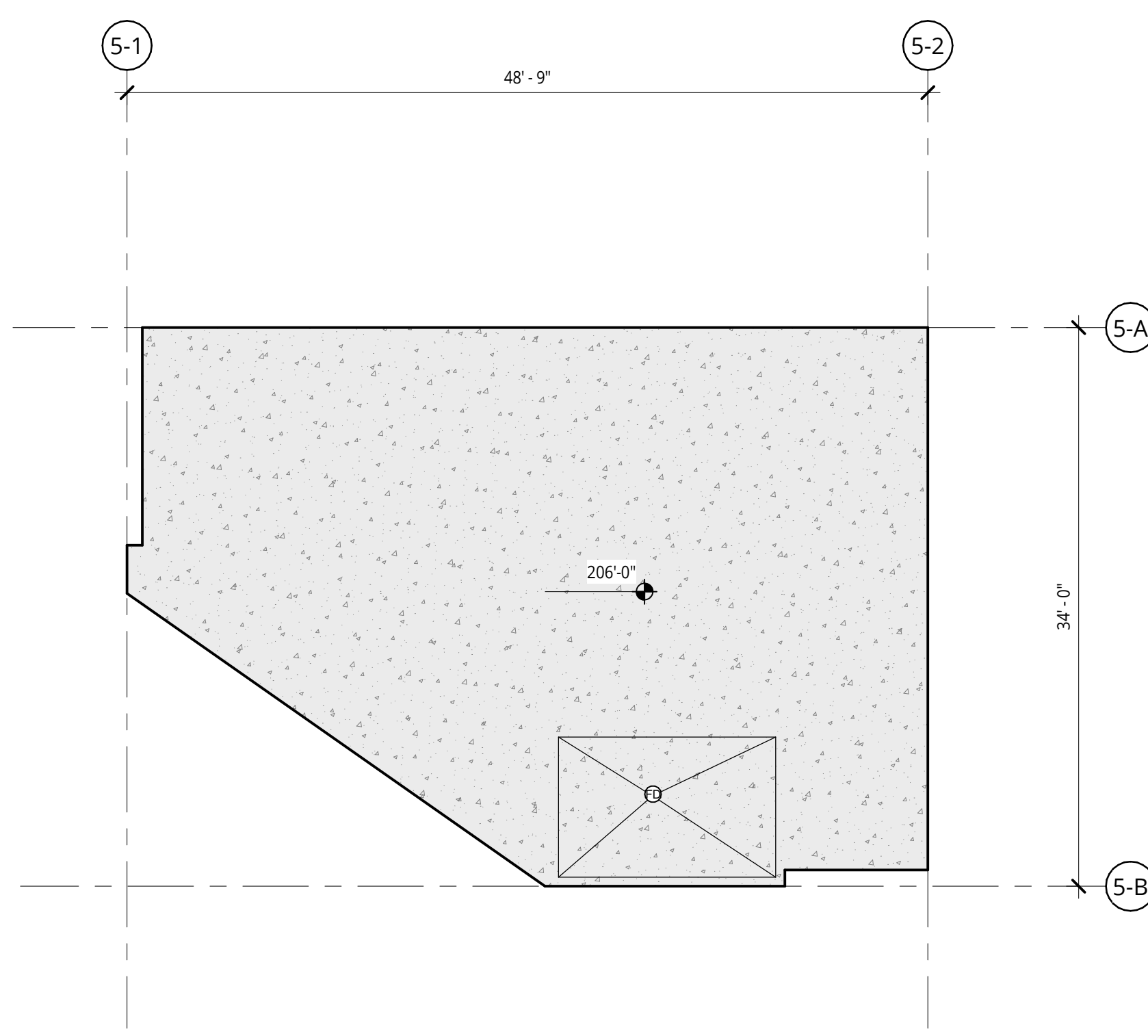
REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

BUILDING ELEVATIONS AND SECTIONS

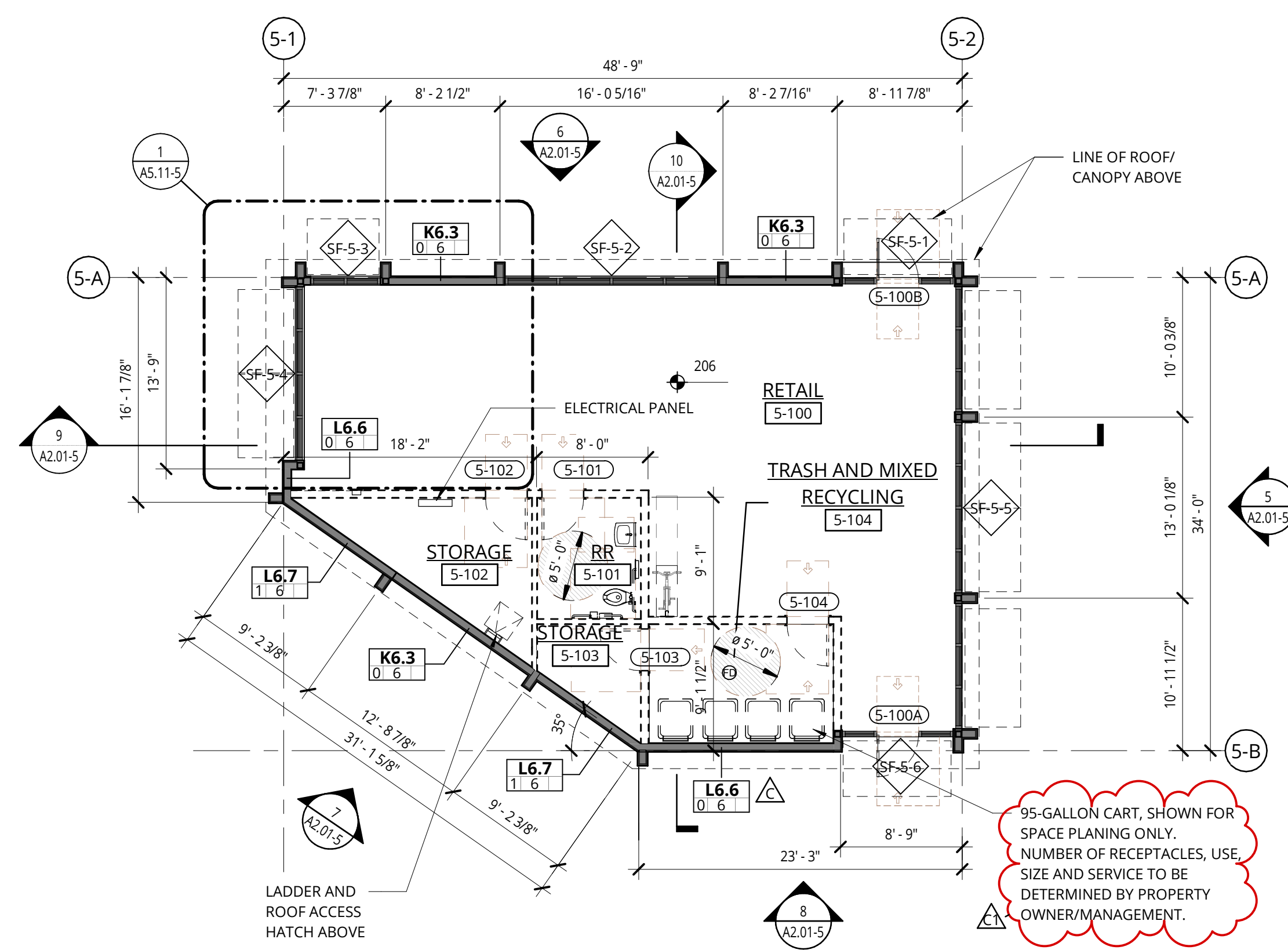
LAND USE

DATE 5.25.2023 PROJECT NUMBER 215390
SHEET NUMBER

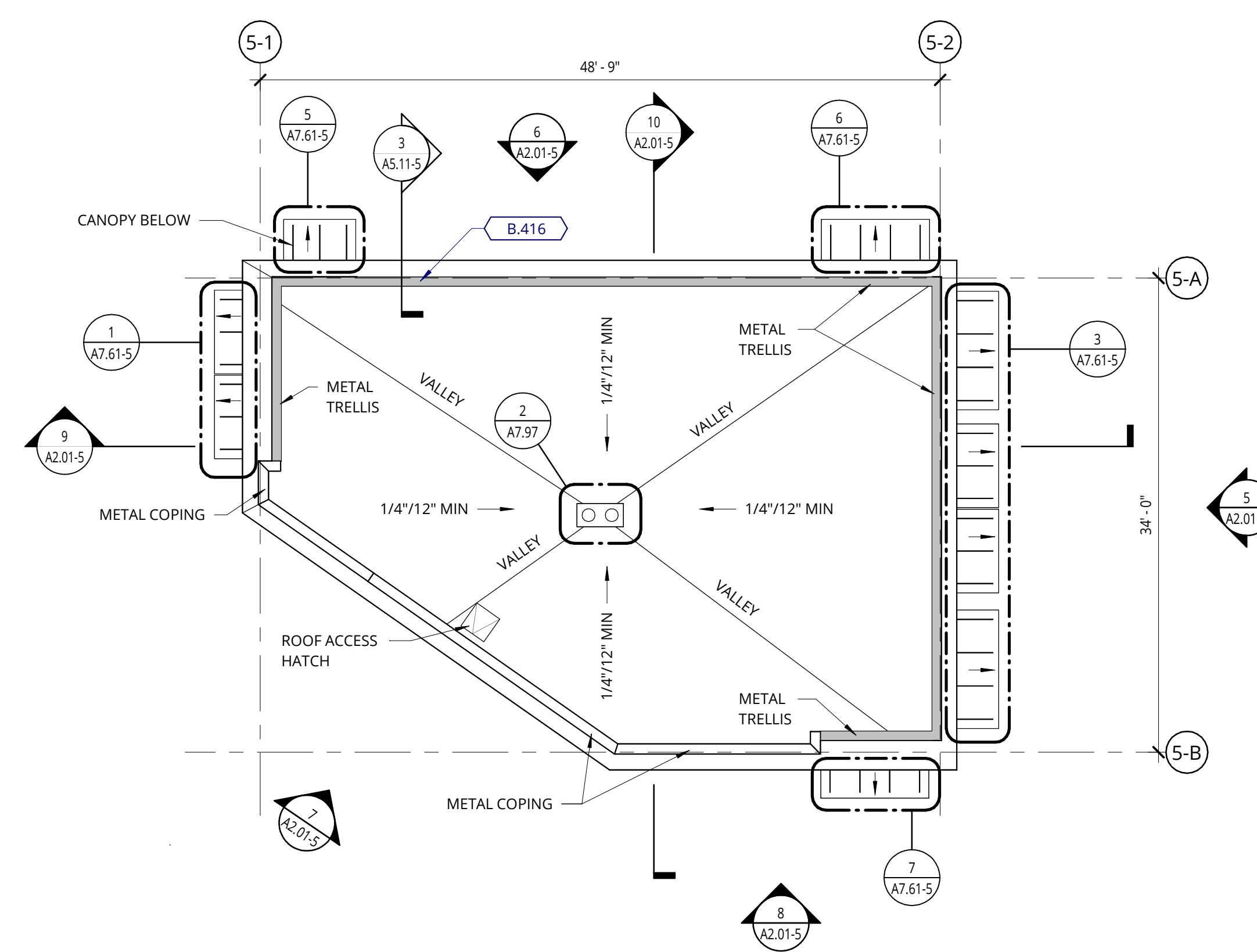
A3.11-4



1 BUILDING 5 - SLAB LAYOUT PLAN
1/8" = 1'-0"



2 BUILDING 5 - LEVEL 1 - PLAN
1/8" = 1'-0"



3 BUILDING 5 - ROOF - PLAN
1/8" = 1'-0"

GENERAL NOTES - FLOOR PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SHEETS **A0.11** FOR WALL ASSEMBLIES.
- SEE FIRE/LIFE SAFETY SHEETS BEGINNING ON **02.21** FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
- REFER TO STRUCTURAL DRAWINGS FOR COLUMNS, SHEAR WALL AND BEAM SIZES.
- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING **A5.01**. REFER TO SLAB LAYOUT PLANS FOR CONCRETE AND MASONRY WALL LOCATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.
- SEE ENLARGED PLANS FOR DETAILED DIMENSIONS, WALL TAGS AND DOOR TAGS.
- SEE SHEETS BEGINNING ON A5.01 FOR TYPICAL ACCESSIBILITY CLEARANCES.
- REFER TO SHEETS **02.12, 02.13, 02.14 AND 02.15** TO REFERENCE THE SLOPE AND CROSS SLOPE FOR ALL MEANS OF EGRESS EXIT DISCHARGE AND CURB HEIGHTS.

GENERAL NOTES - EXTERIOR ELEVATIONS

- REFER TO SHEET **A0.01** FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL (OR PROJECT DATUM).
- SEE DOOR SCHEDULE SHEET A12.01 FOR DOOR LOCATIONS AND TYPES.
- SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.
- REFER TO **A0.11** FOR EXTERIOR WALL TYPES.
- SEE SHEET **02.21** FOR WINDOW AND LOUVER INFORMATION.
- ALL FENESTRATION (STOREFRONT AND WINDOW WALL) SHALL BE NFRC CERTIFIED. PROVIDE LABEL CERTIFICATES TO THE ON-SITE CITY INSPECTOR AT THE PROJECT SITE PRIOR TO INSTALLATION.
- ANY DESIGN REVIEW AND APPROVAL DOES NOT SUPERSEDE THE SIGN CODE. OBTAIN SEPARATE SIGN PERMIT PRIOR TO INSTALLATION OF EXTERIOR BUILDING SIGNAGE.
- DOORS INTO ELECTRICAL CONTROL PANEL ROOMS SHALL BE MARKED WITH A PLAINLY VISIBLE AND LEGIBLE SIGN STATE "ELECTRICAL ROOM" OR APPROVED WORDING.

GENERAL NOTES - BUILDING SECTIONS

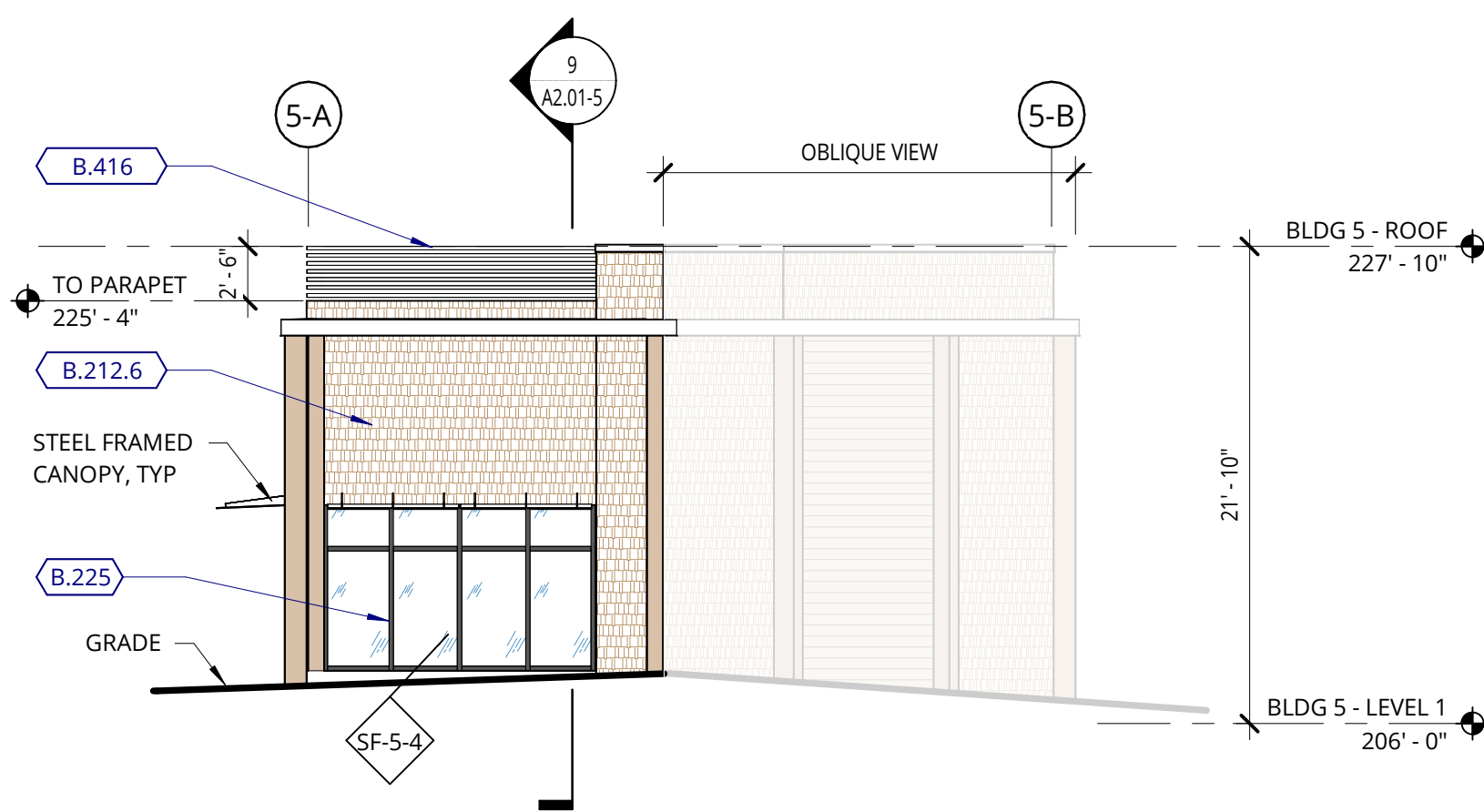
- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL (OR BUILDING DATUM).
- SEE SHEET **A12.01** FOR WINDOW SCHEDULE.
- SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.

KEYNOTE LEGEND

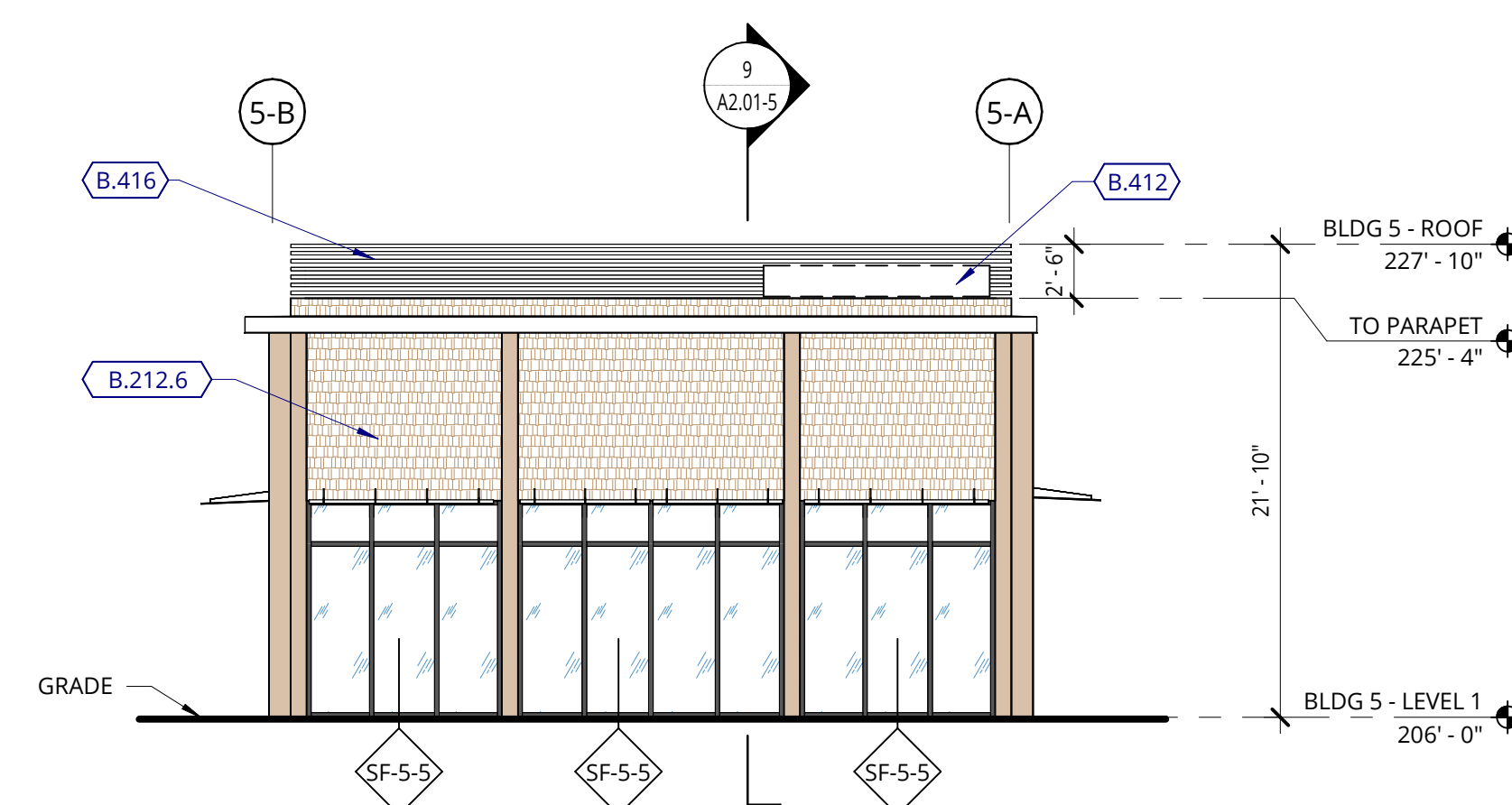
KEY VALUE	KEYNOTE TEXT
B.212.1	FIBER CEMENT LAP SIDING (STAINED)
B.212.3	FIBER CEMENT PANEL SIDING (STAINED)
B.212.6	FIBER CEMENT SHAKE SIDING (STAINED)
B.212.7	FIBER CEMENT SHAKE SIDING (PAINTED)
B.225	ALUMINUM FRAMED STOREFRONTS
B.412	BUILDING SIGNAGE (MONUMENT) BACKLIT CABINET/CANOPY-STEM MOUNTED LETTERS)
B.416	WOOD LOOK METAL TRELLIS/SCREEN

EXTERIOR MATERIAL LEGEND

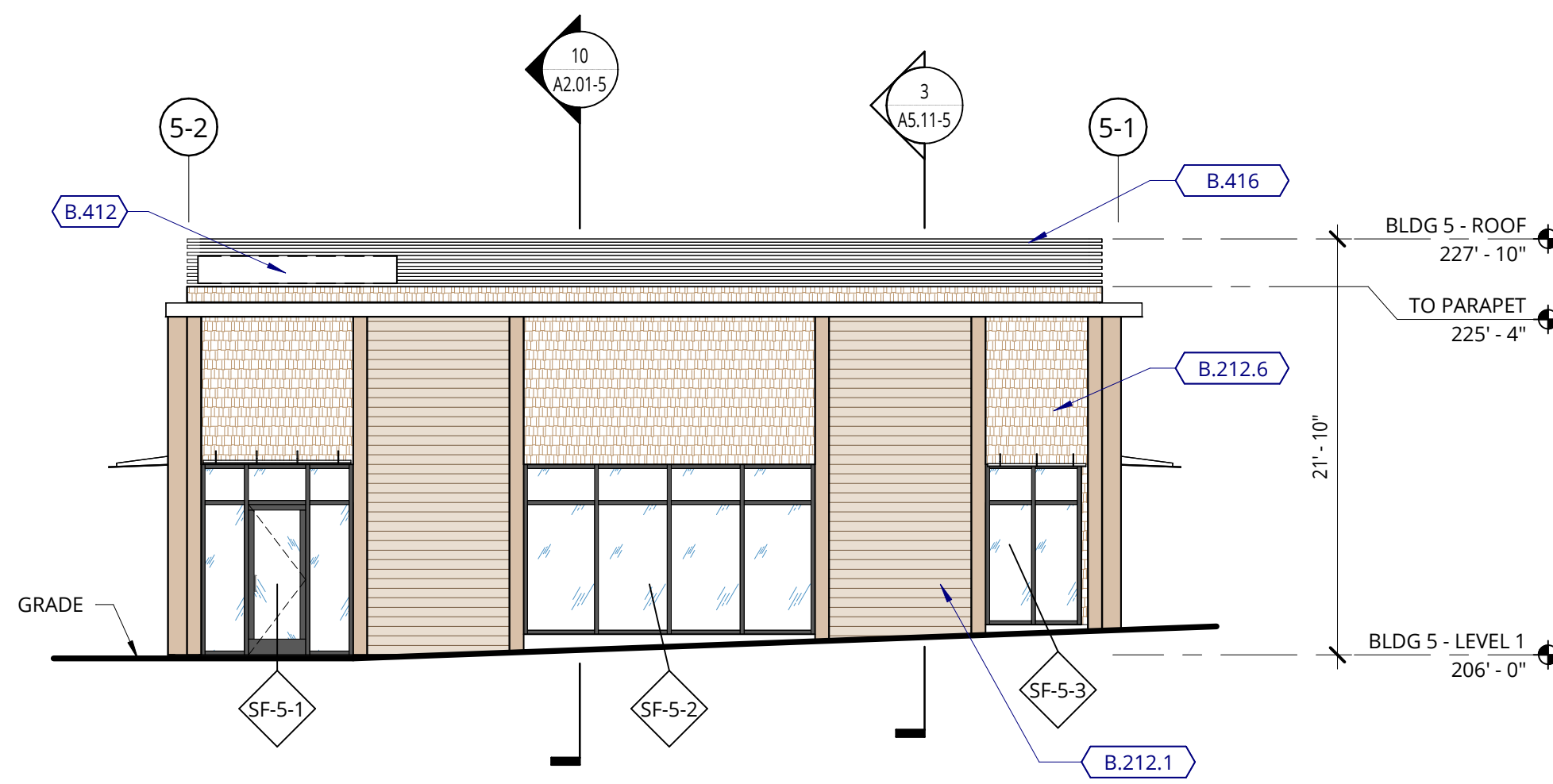
	FC SHAKE SIDING - STAINED WALL ASSEMBLY L6.6/L6.7
	FC LAP SIDING - STAINED WALL ASSEMBLY K6.3
	FC PANEL - STAINED WALL ASSEMBLY J6.6



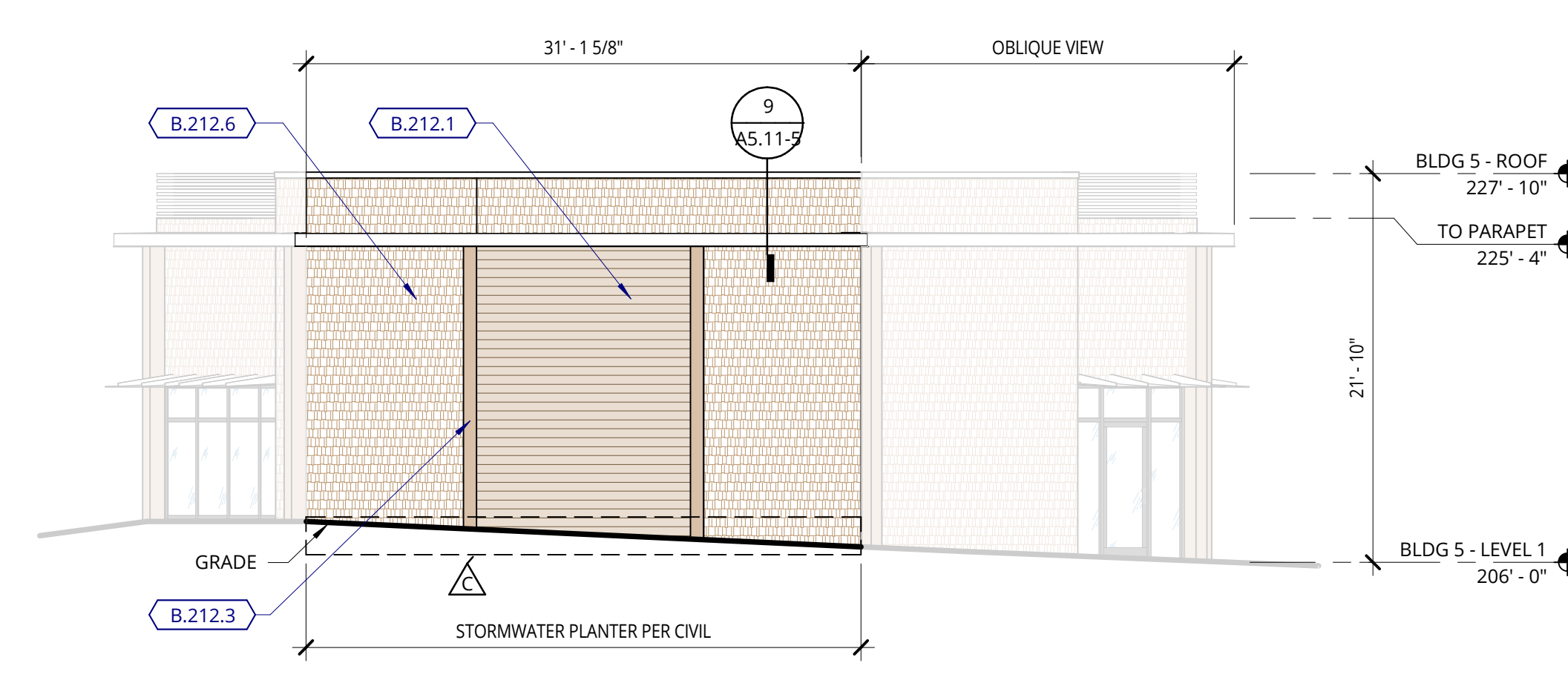
4 RETAIL - NORTH ELEVATION
1/8" = 1'-0"



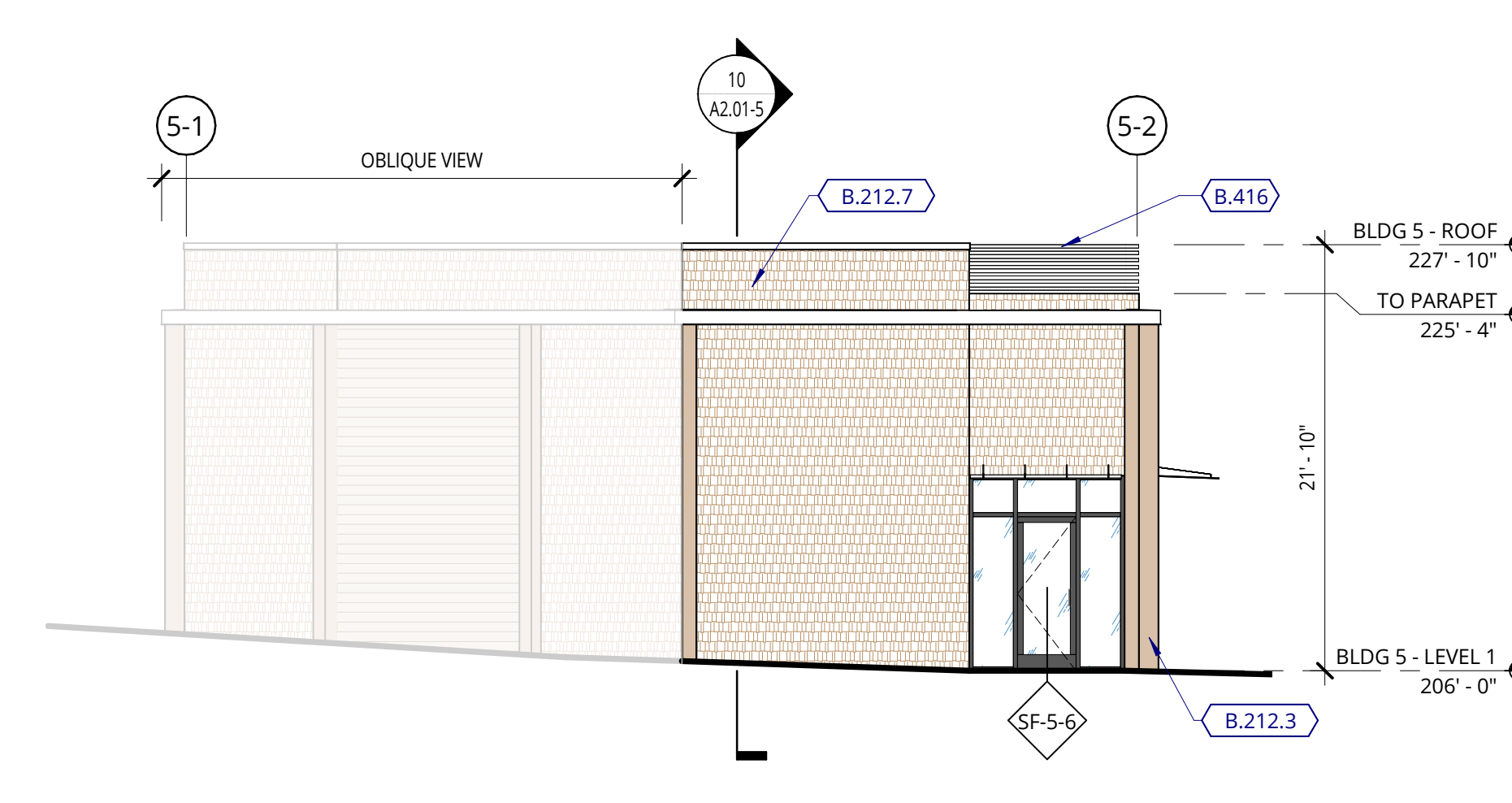
5 RETAIL - SOUTH ELEVATION
1/8" = 1'-0"



6 RETAIL - EAST ELEVATION
1/8" = 1'-0"

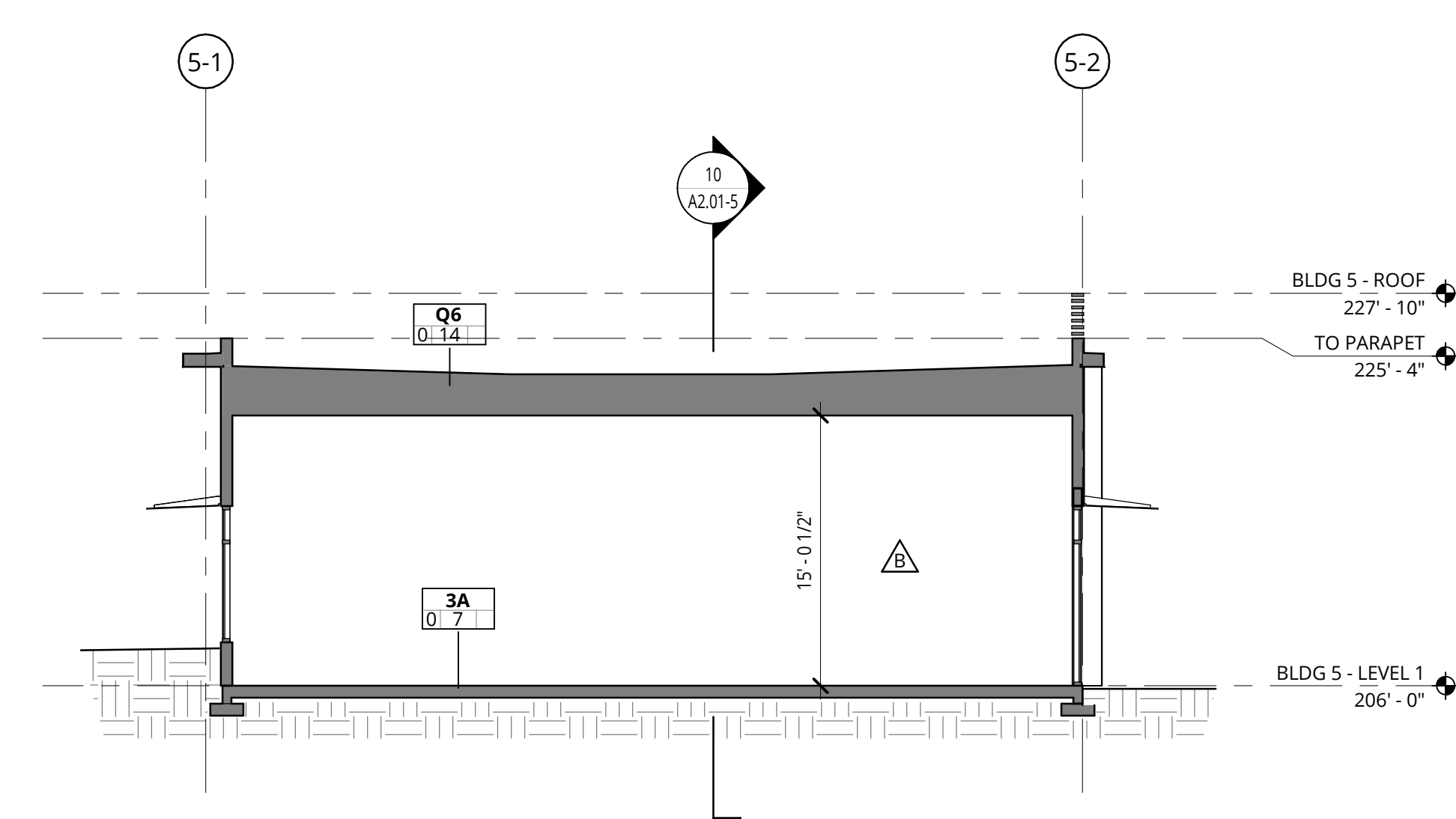


7 RETAIL - N/W ELEVATION
1/8" = 1'-0"

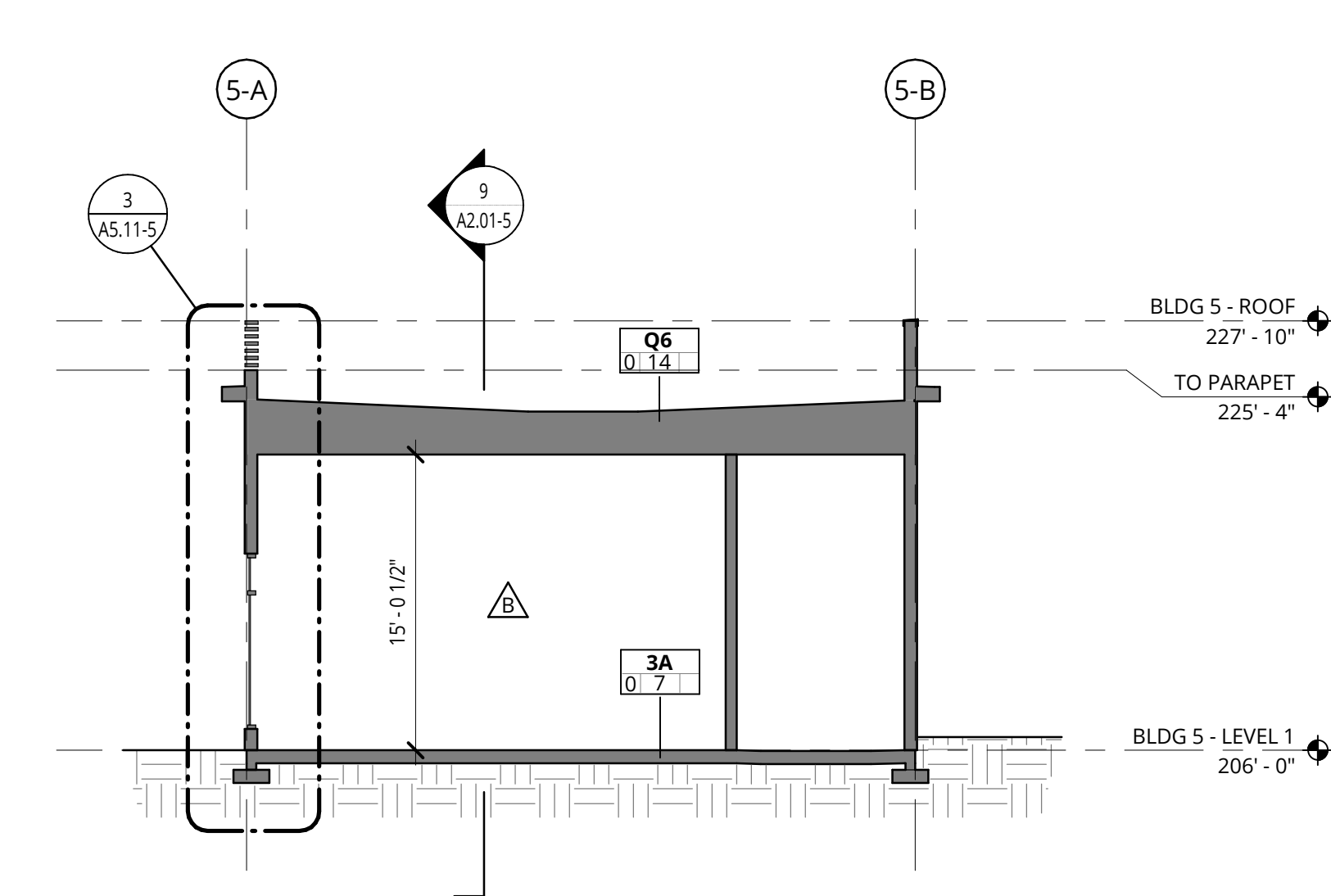


8 RETAIL - WEST ELEVATION
1/8" = 1'-0"

BIKE PARKING COUNT BUILDING 5		
BIKE RACK COUNT	NUMBER OF BIKES PARKED	Description
1	1	Wall Rack



9 BUILDING 5 - N/S SECTION
1/8" = 1'-0"



10 BUILDING 5 - E/W SECTION
1/8" = 1'-0"

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ELMONICA BUILDING 5
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2
CT	5/25/2023	Land Use Revision 3

BUILDING PLANS, ELEVATIONS AND SECTIONS

LAND USE

DATE	PROJECT NUMBER
5.25.2023	215390

SHEET NUMBER

A2.01-5

MEP COORDINATION NOTES

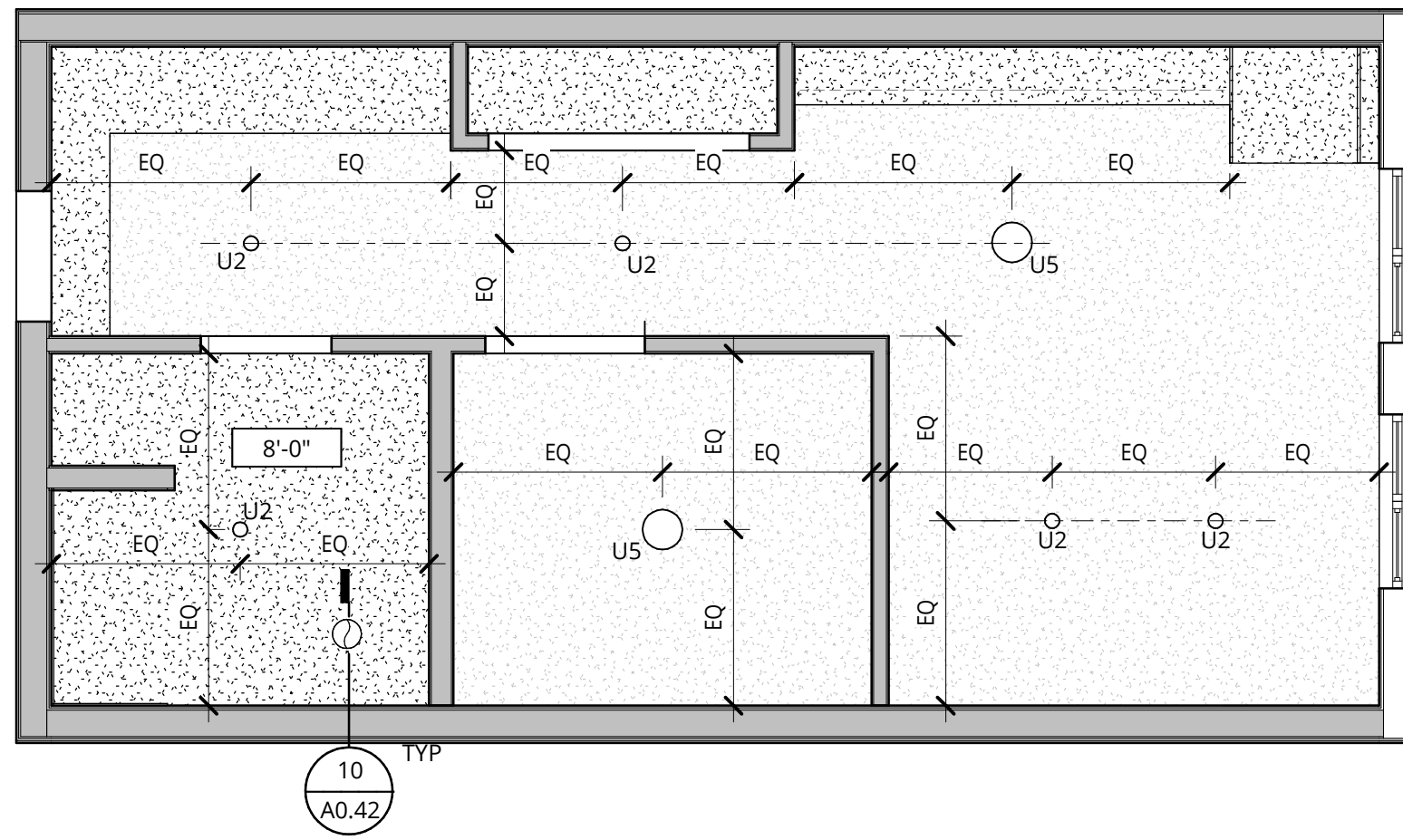
- A. ONE ERV PER RESIDENTIAL UNIT WITH RECIRCULATING VENT HOOD AND CONTINUOUS EXHAUST FROM KITCHEN TO ERV. ONE SEPARATE INTAKE AND EXHAUST LOWER AT EXTERIOR WALL PER UNIT. NOTE THAT EXTERIOR ELEVATIONS SHOW ONE LARGER LOWER WHICH WILL BE SPLIT IN TO TWO SMALLER ONES. ROUTING OF DUCTS, DROP CEILINGS AND DISTANCE FROM WINDOW OPERABLE TO BE COORDINATED AFTER DD SET.
- B. PROVIDE TRANSFER FAN FOR VENTILATION AT BEDROOM AREA AT STUDIOS THAT 1.0, 1.1, 1.2

GENERAL NOTES REFLECTED CEILING PLANS

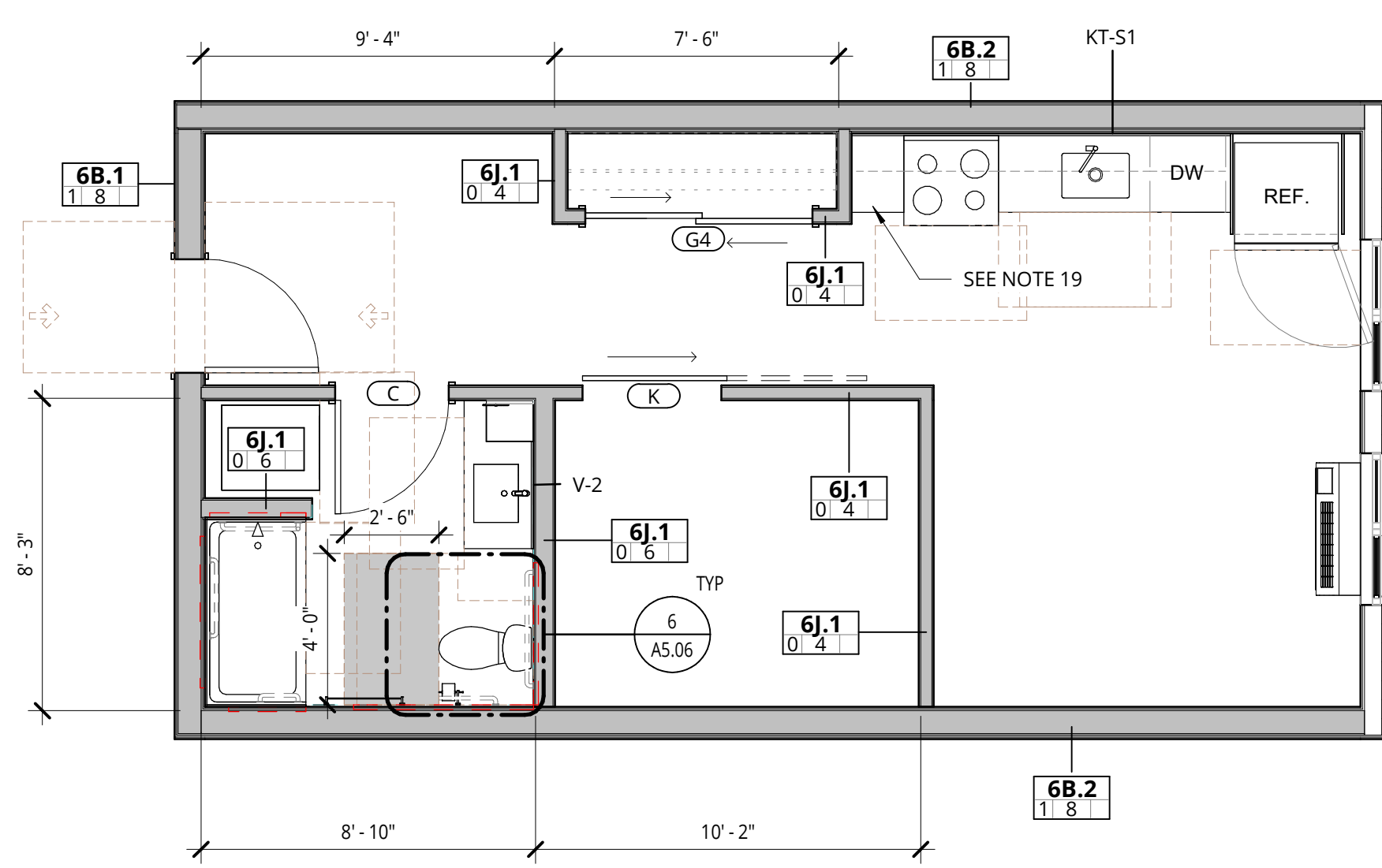
1. REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ADJUST LIGHT GAUGE METAL FRAMING SIZE, GAUGE AND SPACING AT SOFFITS AND CEILINGS TO MEET MANUFACTURER'S PUBLISHED SPAN TABLES, SPECIFIED DEFLECTION CRITERIA, AND TO SUPPORT BOTH GRAVITY AND LATERAL LOADS.
3. CEILING AND SOFFIT HEIGHTS ARE MEASURED VERTICALLY FROM THE FINISHED FACE OF CEILING OR SOFFIT TO FLOOR LEVEL UNLESS NOTED OTHERWISE.
4. LOCATE SPRINKLER HEADS, HVAC GRILLS, TRIM, SMOKE DETECTORS, GAS ANTENNAS, RECESSED LIGHT FIXTURES AND OTHER CEILING MOUNTED DEVICES IN THE CENTER OF ACOUSTICAL CEILING TILES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
5. ALIGN HVAC GRILLS, DIFFUSERS AND OTHER TRIM WITH SPRINKLER HEADS, SMOKE DETECTORS, SPEAKERS AND OTHER CEILING MOUNTED DEVICES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
6. CENTER LUMINAIRES (OR GROUPS OF LUMINAIRES) WITHIN THE ROOM OR SPACE, AND CENTER FIXTURES WITHIN CEILING TILE PANELS, UNLESS DIMENSIONED OTHERWISE.
7. PROVIDE CONTROL JOINTS IN GYPSUM WALLBOARD SOFFITS AND CEILINGS AS INDICATED, OR AT MAX 30' ON CENTER EACH WAY IF NOT INDICATED.
8. REFER TO MECHANICAL DRAWINGS FOR VENTING AND DUCTING LOCATIONS.
9. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURES TYPES, LIGHTING SWITCHING LOCATIONS, LOW VOLTAGE DESIGN, AND RECEPTACLE LOCATIONS.
10. FIRE STOP ALL PENETRATIONS THROUGH RATED WALLS AND CEILINGS. PROVIDE FIRE DAMPERS AND/OR FIRE SMOKE DAMPERS AT OPENINGS. REFER TO MECHANICAL DRAWINGS.
11. PROVIDE ACCESS PANELS (PRE RATED WHERE REQUIRED) AT ALL NECESSARY LOCATIONS.
12. ALL WALLS ARE FULL HEIGHT TO STRUCTURE ABOVE UNLESS OTHERWISE NOTED. PROVIDE FIRE STOPPING AND ACOUSTIC SEALANT AT RATED WALLS. SEE FIRE/LIFE SAFETY SHEETS BEGINNING ON G2.01 FOR ADDITIONAL INFORMATION.
13. PROVIDE SEISMIC JOINTS IN ALL CEILINGS AS REQUIRED BY THE MOST STRINGENT APPLICABLE CODE WHETHER INDICATED ON THE DRAWINGS OR NOT. FOR LOCATIONS NOT SHOWN, REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
14. TYPICAL GYPSUM WALLBOARD ON CEILINGS IS 5/8 INCH UNLESS NOTED OTHERWISE.
15. REFER TO INDIVIDUAL ENLARGED UNIT PLANS FOR CEILING INFORMATION WITHIN RESIDENTIAL UNITS.
16. DECORATIVE LIGHTING WITH TAGS IS FOR AMENITY AREAS. REFER TO A8 SERIES FOR GENERAL AND BACK OF HOUSE LIGHTING.
17. REFER TO ROOM FINISH SCHEDULE FOR ROLLERSHADE LOCATIONS. ALL EXTERIOR WINDOWS WITHIN THAT ROOM ARE TO RECEIVE A ROLLERSHADE. U.N.O.

GENERAL NOTES - ENLARGED PLANS

1. REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. SEE SLAB PLANS FOR CONCRETE AND MASONRY WALL LOCATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.
3. SEE SHEETS **A0.21, A0.22** FOR WALL ASSEMBLY INFORMATION.
4. SEE SHEETS BEGINNING ON A5.01 FOR TYPICAL ACCESSIBILITY CLEARANCES.
5. PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING A5.01.
6. DWELLING UNITS ARE TYPE B UNLESS NOTED OTHERWISE. PROVIDE REINFORCEMENT IN WALLS FOR FUTURE GRAB BAR INSTALLATION AT ALL WATER CLOSETS AND BATH/TUB/SHOWERS IN ALL RESIDENTIAL UNITS. SEE SHEETS **A5.05** AND **A5.06**.
7. TYPE A UNIT CLOSETS:
 - A. BEDROOM CLOSETS: PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 36" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 72" AFF.
 - B. ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FOR ONE HALF OF THE CLOSET WIDTH AND ONE AT 36" AFF FOR THE REMAINING HALF.
8. TYPE B UNIT BEDROOM CLOSETS:
 - A. PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 72" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 36" AFF.
 - B. TYPE B UNIT ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FULL WIDTH.
9. ALIGN CENTER OF CLOSET DOORS WITH THE CENTER OF CLOSET IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.
10. ALL REACH-IN RESIDENTIAL CLOSETS ARE 24" DEEP INSIDE CLEAR (FACE OF WALL TO FACE OF WALL) UNLESS NOTED OTHERWISE.
11. WING WALLS ADJACENT TO CASEWORK ARE 2'-2" LONG, UNLESS NOTED OTHERWISE.
12. WING WALLS OR FURRING WALLS ADJACENT TO BATH/TUBS OR SHOWERS EXTEND A MAXIMUM OF 1-1/2" BEYOND FACE OF SHIRT OR CURB, UNLESS NOTED OTHERWISE SUCH THAT TOTAL OVERLAP INTO A ACCESSIBILITY CLEARANCE (INCLUDING BASE) IS 2" OR LESS.
13. CONFORM TO MOUNTING HEIGHT REQUIREMENTS SHOWN ON **19/A5.01**.
14. PROVIDE CANE DETECTION IN ACCORDANCE WITH DETAIL **3/A5.01** BELOW OBJECTS WHICH PROJECT BEYOND THE LIMITS SHOWN IN DETAIL **3/A5.01**.
15. SEE VANITY ELEVATIONS ON SHEETS **A10.21**.
16. SEE KITCHEN ELEVATIONS ON SHEETS **A10.11, A10.12** AND **A10.12** FOR ACCESSIBLE OUTLET AND SWITCH LOCATIONS.
17. PROVIDE BLOCKING FOR WALL MOUNTED BIKE RACK.
18. PROVIDE ADDITIONAL LAYERS (S) OF GIP AS REQUIRED TO ALIGN FINISHES.
19. PROVIDE OUTLET AT SIDEWALL, 6" MAX FROM THE EDGE OF THE COUNTER.



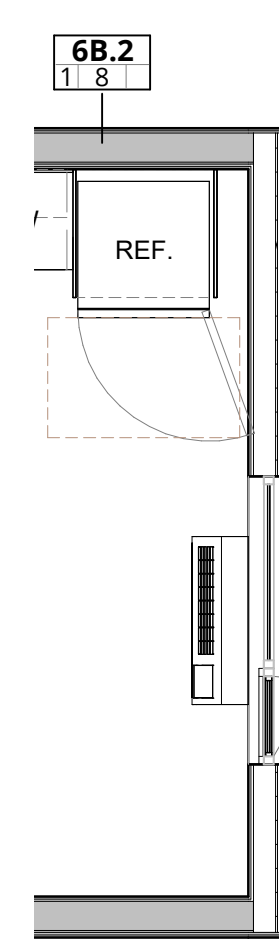
2 RCP - STUDIO - 0 BED - 1.0 / TYPICAL
1/4" = 1'-0"



1 STUDIO - 0 BR - 1.0
1/4" = 1'-0"

* REFER TO SHEET A5.06 FOR TYPE B UNIT REQUIREMENTS

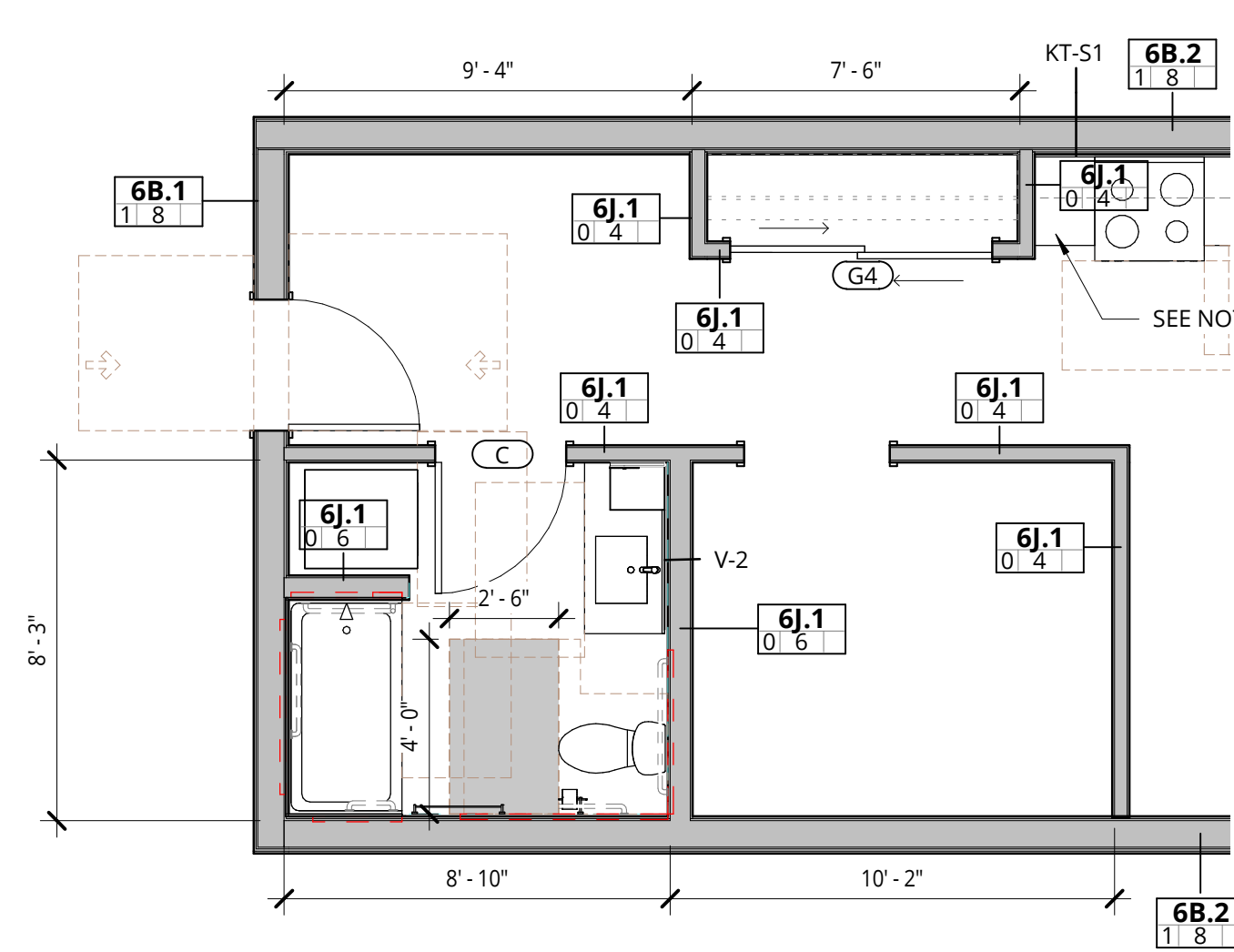
UNIT NAME	UNIT NUMBER
BUILDING 1	
O BR - 1.1	1-103
BUILDING 3	
O BR - 1.1	3-108



3 STUDIO - 0 BED - 1.1
1/4" = 1'-0"

* O BR - 1.1 IS THE SAME AS O BR - 1.0, BUT ONLY HAS ONE WINDOW. SEE RCP - STUDIO - 0 BR - 1.0 / TYPICAL FOR RCP.

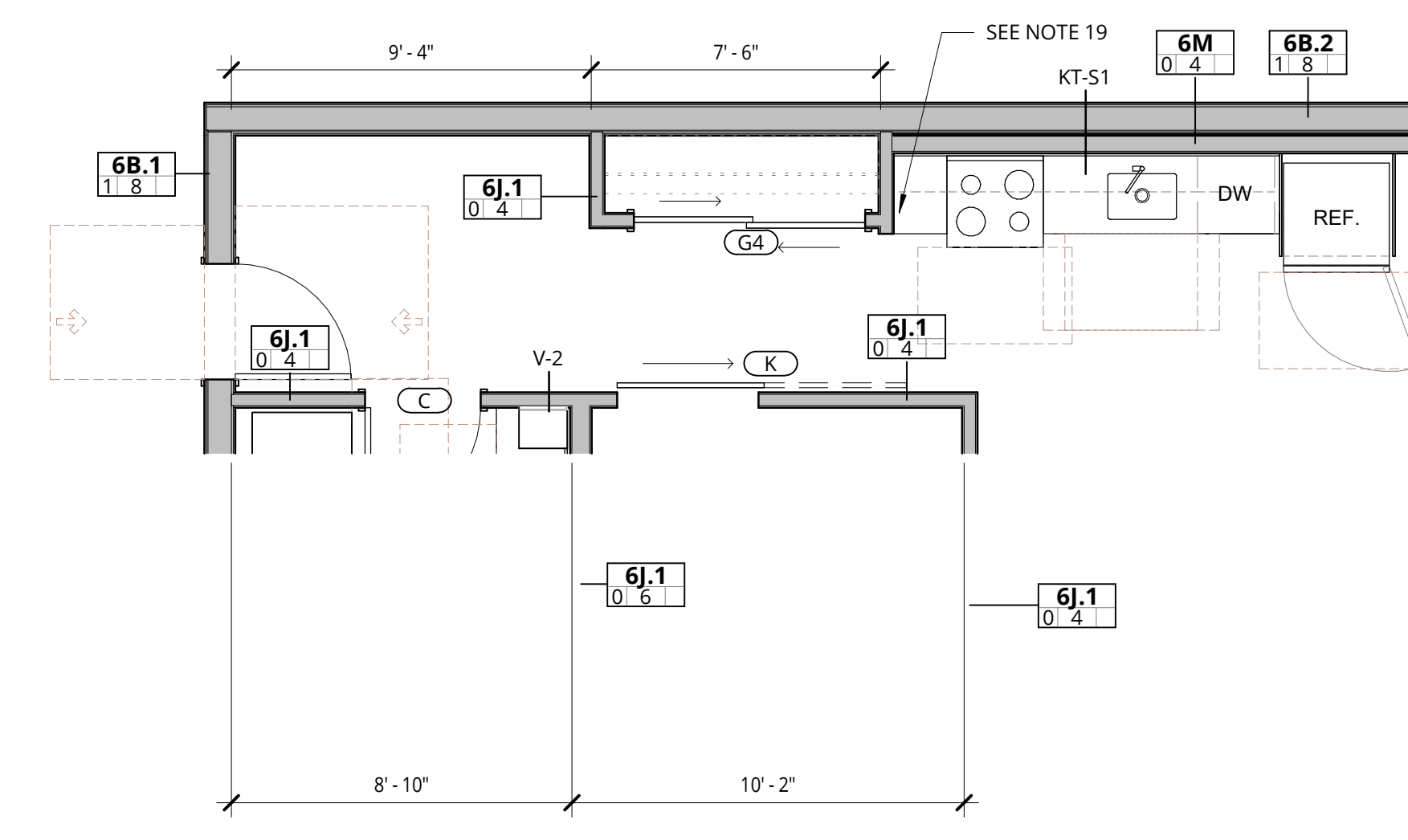
UNIT NAME	UNIT NUMBER
BUILDING 1	
O BR - 1.1	1-103
BUILDING 3	
O BR - 1.1	3-108



4 STUDIO - 0 BED - 1.2
1/4" = 1'-0"

* O BR - 1.2 IS THE SAME AS O BR - 1.0, BUT DOES NOT INCLUDE BARN DOOR. SEE RCP - STUDIO - 0 BR - 1.0 / TYPICAL FOR RCP.

UNIT NAME	UNIT NUMBER
BUILDING 1	
O BR - 1.2	3-209
BUILDING 3	
O BR - 1.2	3-309
O BR - 1.2	3-409
O BR - 1.2	3-509



5 STUDIO - 0 BED - 1.5
1/4" = 1'-0"

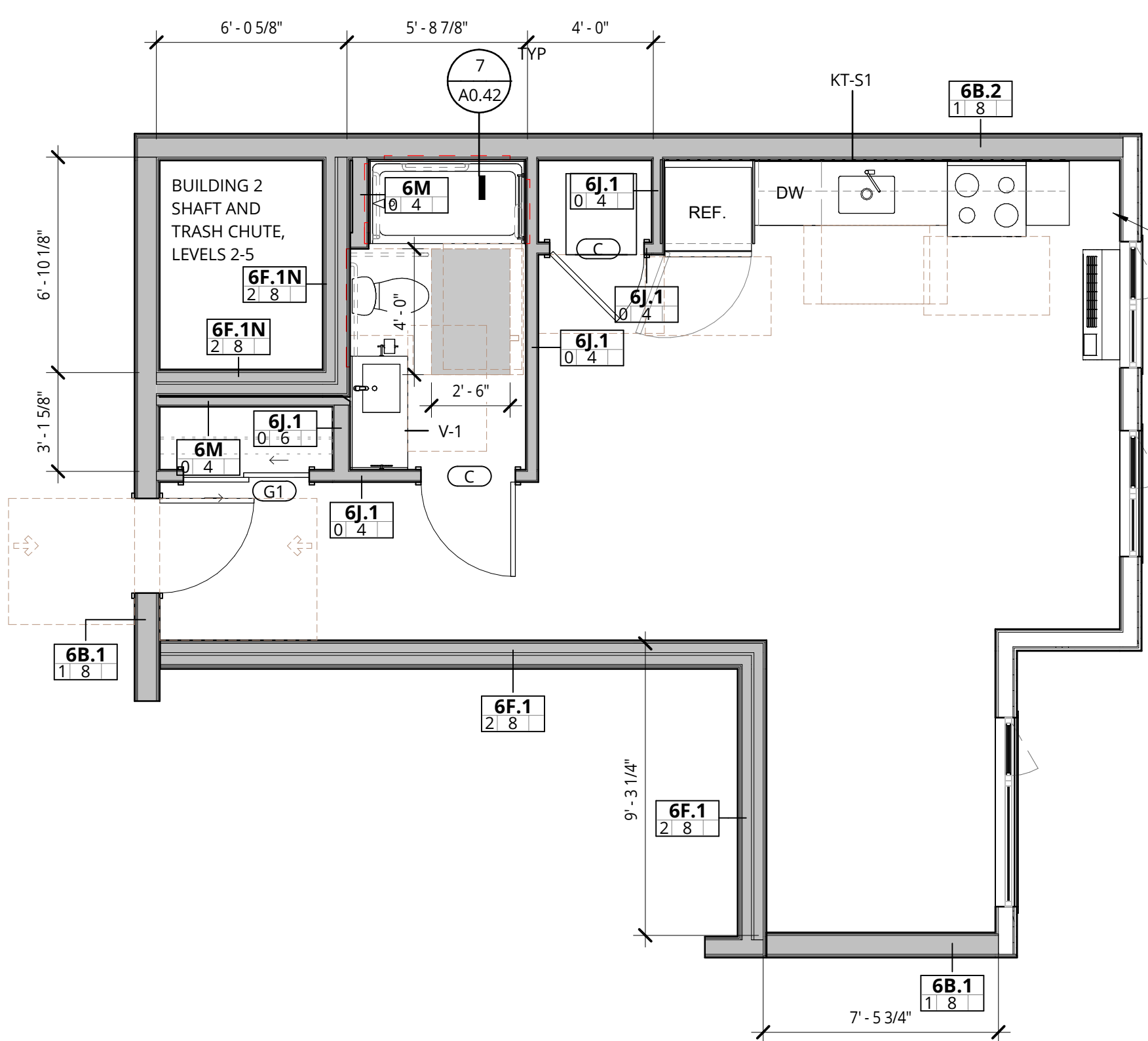
* O BR - 1.5 IS THE SAME AS O BR - 1.0, BUT INCLUDES PLUMBING CHASE. SEE RCP - STUDIO - 0 BR - 1.0 / TYPICAL FOR RCP.

UNIT NAME	UNIT NUMBER
BUILDING 1	
O BR - 1.5	1-404
O BR - 1.5	1-504
O BR - 1.5	1-304
BUILDING 2	
O BR - 1.5	2-313
O BR - 1.5	2-213
O BR - 1.5	2-113
O BR - 1.5	2-413
O BR - 1.5	2-513

RCP LEGEND

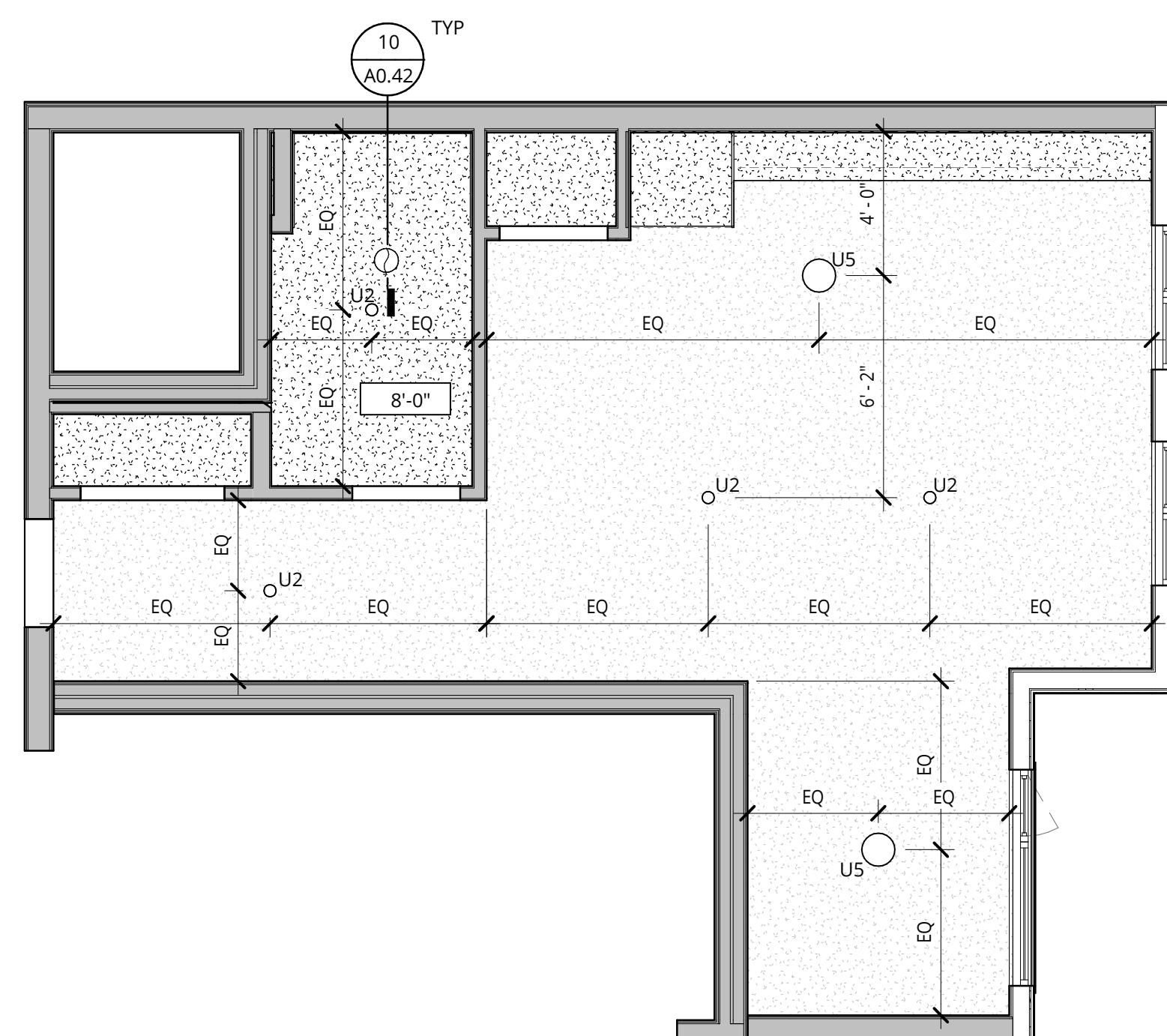
- LIGHTING**
- LINEAR
 - PENDANT
 - U2 - LED SURFACE MOUNT LIGHT
 - U5 - LED SURFACE MOUNT LIGHT
 - RECESSED DOWNLIGHT
 - RECESSED WALL WASHER
 - UNDER CABINET LINEAR
 - COVE AND/OR WALL GRAZE LIGHTING
 - WALL SCONCE
 - VANITY FIXTURE
 - EXHAUST FAN

- CEILINGS**
- BOTTOM OF FLOOR ASSEMBLY GYPSUM WALLBOARD
 - DROPPED GYPSUM BOARD CEILING BELOW RATED ASSEMBLY. SEE PLANS FOR HEIGHTS.
 - WOOD PLANK CEILING TILE TYPE (WD-5)
 - VENTED SOFFIT - PAINTED FC TRIM SLATS
 - ACT-1 TECTUM FINALE PANELS - INSTALL PER MANUFACTURER INSTRUCTIONS FOR D-20 INSTALLATION METHOD
 - ACT-2 EXPANDED MESH LAY-IN CEILING
 - WOOD OR MDF PANEL APPLIED TO CEILING - SEE INTERIOR DETAILS

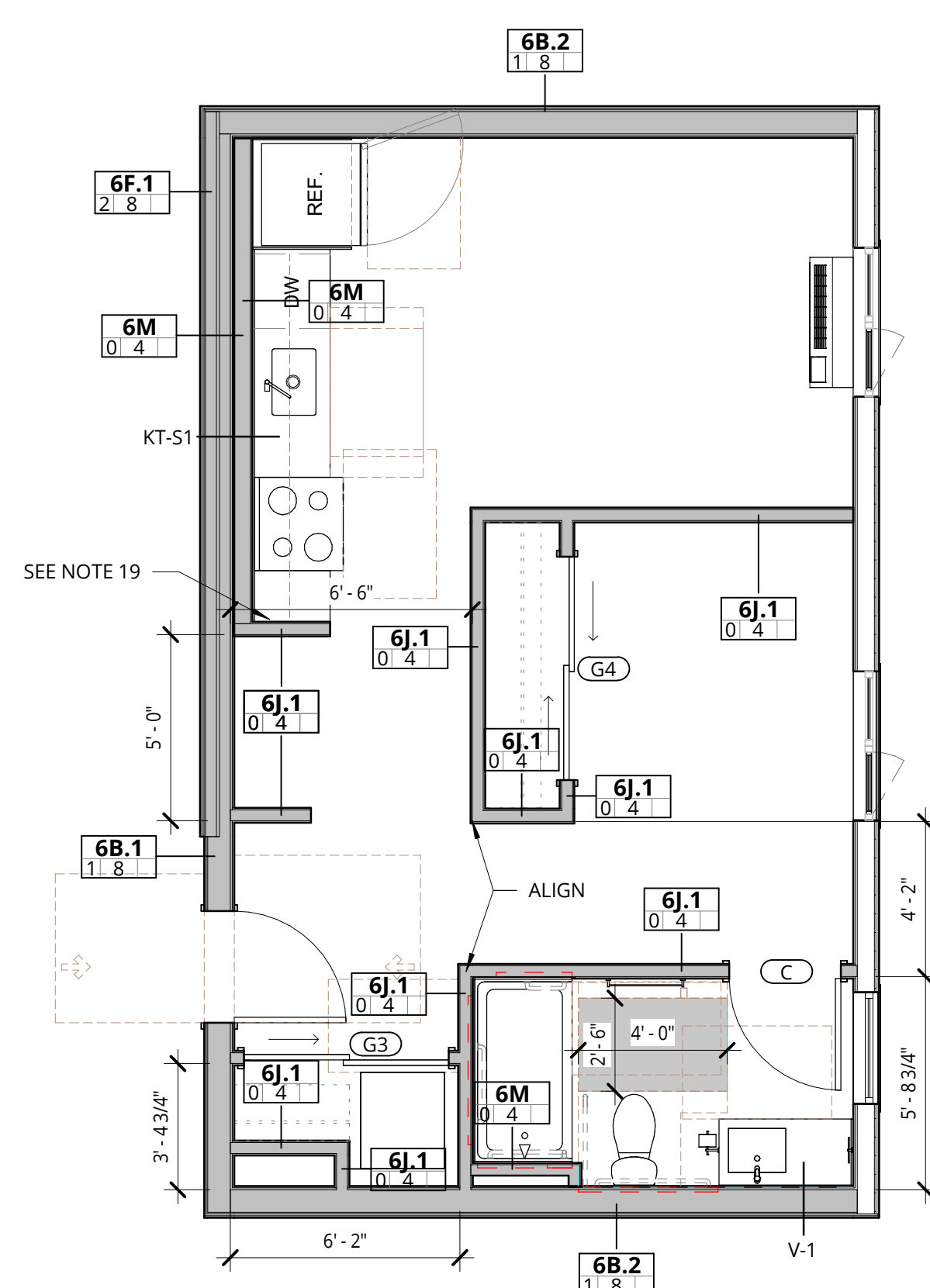


6 STUDIO - 0 BED - 1.3
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER
BUILDING 2	
O BR - 1.3	2-307
O BR - 1.3	2-207
O BR - 1.3	2-407
O BR - 1.3	2-507

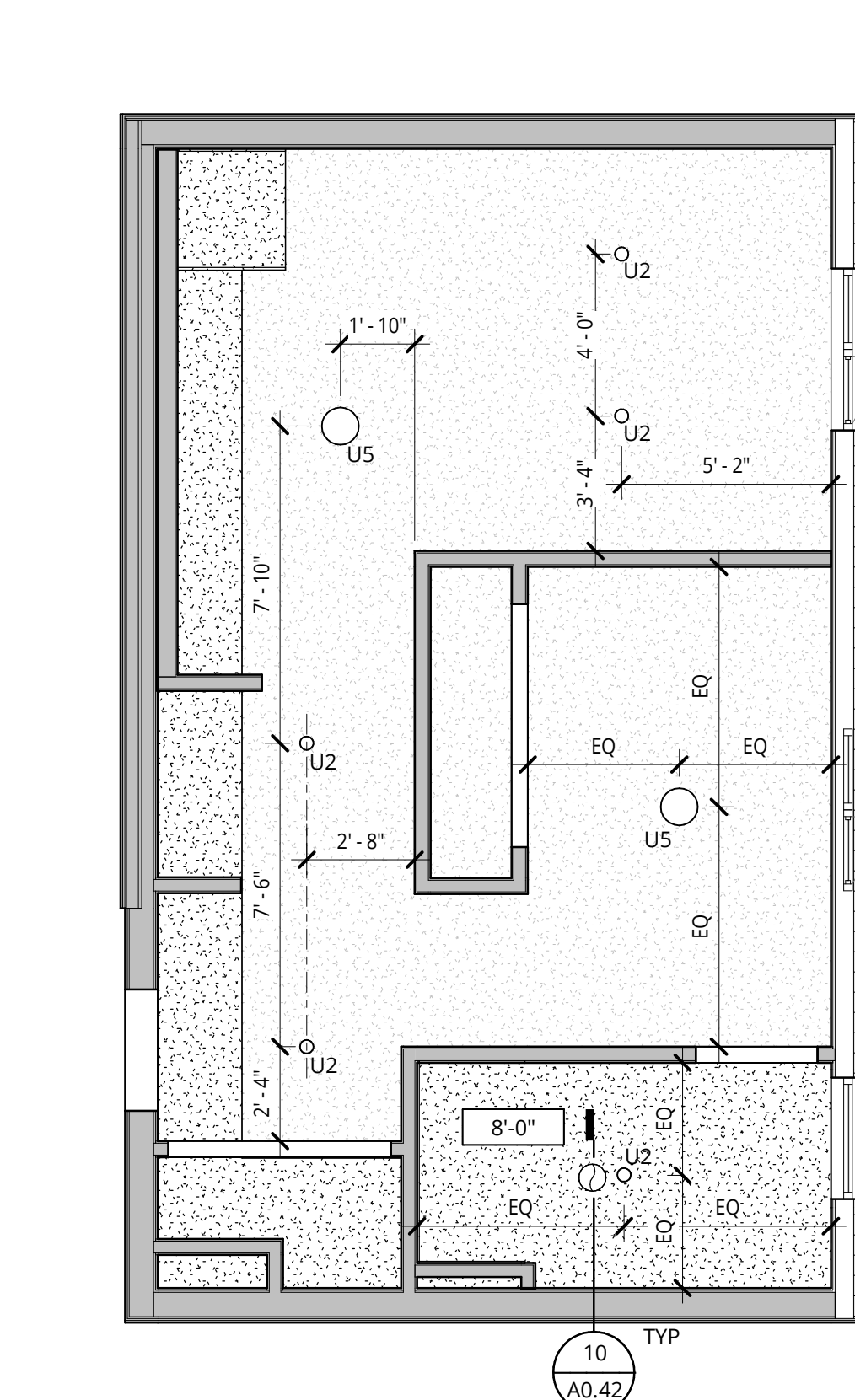


7 RCP - STUDIO - 0 BED - 1.3
1/4" = 1'-0"



8 STUDIO - 0 BED - 2.0
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER
BUILDING 1	
O BR - 2.0	1-216
O BR - 2.0	1-217
O BR - 2.0	1-316
O BR - 2.0	1-317
O BR - 2.0	1-416
O BR - 2.0	1-417
O BR - 2.0	1-516
O BR - 2.0	1-517



9 RCP - STUDIO - 0 BED - 2.0
1/4" = 1'-0"

NOT FOR CONSTRUCTION



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ELMONICA
SW 170TH AND W BASELINE
REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

UNIT PLANS, RCPS

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A5.21

MEP COORDINATION NOTES

- A. ONE ERV PER RESIDENTIAL UNIT WITH RECIRCULATING VENT HOOD AND CONTINUOUS EXHAUST FROM KITCHEN TO ERV. ONE SEPARATE INTAKE AND EXHAUST LOUVER AT EXTERIOR WALL PER UNIT. NOTE THAT EXTERIOR ELEVATIONS SHOW ONE LARGER LOUVER WHICH WILL BE SPLIT IN TO TWO SMALLER ONES. ROUTING OF DUCTS, DROP CEILINGS AND DISTANCE FROM WINDOW OPERABLE TO BE COORDINATED AFTER DD SET.
- B. PROVIDE TRANSFER FAN FOR VENTILATION AT BEDROOM AREA AT STUDIOS THAT 1.0, 1.1, 1.2

**GENERAL NOTES
REFLECTED CEILING PLANS**

- 1. REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- 2. ADJUST LIGHT GAUGE METAL FRAMING SIZE, GAUGE AND SPACING AT SOFFITS AND CEILINGS TO MEET MANUFACTURER'S PUBLISHED SPAN TABLES, SPECIFIED DEFLECTION CRITERIA, AND TO SUPPORT BOTH GRAVITY AND LATERAL LOADS.
- 3. CEILING AND SOFFIT HEIGHTS ARE MEASURED VERTICALLY FROM THE FINISHED FACE OF CEILING OR SOFFIT TO FLOOR LEVEL, UNLESS NOTED OTHERWISE.
- 4. LOCATE SPRINKLER HEADS, HVAC GRILLS, TRIM, SMOKE DETECTORS, DAS ANTENNAS, RECESSED LIGHT FIXTURES AND OTHER CEILING MOUNTED DEVICES IN THE CENTER OF ACOUSTICAL CEILING TILES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
- 5. ALIGN HVAC GRILLS, DIFFUSERS AND OTHER TRIM WITH SPRINKLER HEADS, SMOKE DETECTORS, SPEAKERS AND OTHER CEILING MOUNTED DEVICES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
- 6. CENTER LUMINAIRES (OR GROUPS OF LUMINAIRES) WITHIN THE ROOM OR SPACE, AND CENTER FIXTURES WITHIN CEILING TILE PANELS, UNLESS DIMENSIONED OTHERWISE.
- 7. PROVIDE CONTROL JOINTS IN GYPSUM WALLBOARD SOFFITS AND CEILINGS AS INDICATED, OR AT MAX 30' ON CENTER EACH WAY IF NOT INDICATED.
- 8. REFER TO MECHANICAL DRAWINGS FOR VENTING AND DUCTING LOCATIONS.
- 9. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURES TYPES, LIGHTING SWITCHING LOCATIONS, LOW VOLTAGE DESIGN, AND RECEPTACLE LOCATIONS.
- 10. FIRE STOP ALL PENETRATIONS THROUGH RATED WALLS AND CEILINGS. PROVIDE FIRE DAMPERS AND/OR FIRE SMOKE DAMPERS AT OPENINGS. REFER TO MECHANICAL DRAWINGS.
- 11. PROVIDE ACCESS PANELS (PRE RATED WHERE REQUIRED) AT ALL NECESSARY LOCATIONS.
- 12. ALL WALLS ARE FULL HEIGHT TO STRUCTURE ABOVE UNLESS OTHERWISE NOTED. PROVIDE FIRE STOPPING AND ACOUSTIC SEALANT AT RATED WALLS. SEE FIRE/LIFE SAFETY SHEETS BEGINNING ON G2.01 FOR ADDITIONAL INFORMATION.
- 13. PROVIDE SEISMIC JOINTS IN ALL CEILINGS AS REQUIRED BY THE MOST STRINGENT APPLICABLE CODE WHETHER INDICATED ON THE DRAWINGS OR NOT. FOR LOCATIONS NOT SHOWN, REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
- 14. TYPICAL GYPSUM WALLBOARD ON CEILINGS IS 5/8" INCH UNLESS NOTED OTHERWISE.
- 15. REFER TO INDIVIDUAL ENLARGED UNIT PLANS FOR CEILING INFORMATION WITHIN RESIDENTIAL UNITS
- 16. DECORATIVE LIGHTING WITH TAGS IS FOR AMENITY AREAS. REFER TO A8 SERIES FOR GENERAL AND BACK OF HOUSE LIGHTING.
- 17. REFER TO ROOM FINISH SCHEDULE FOR ROLLERSHADE LOCATIONS. ALL EXTERIOR WINDOWS WITHIN THAT ROOM ARE TO RECEIVE A ROLLERSHADE, U.N.O.

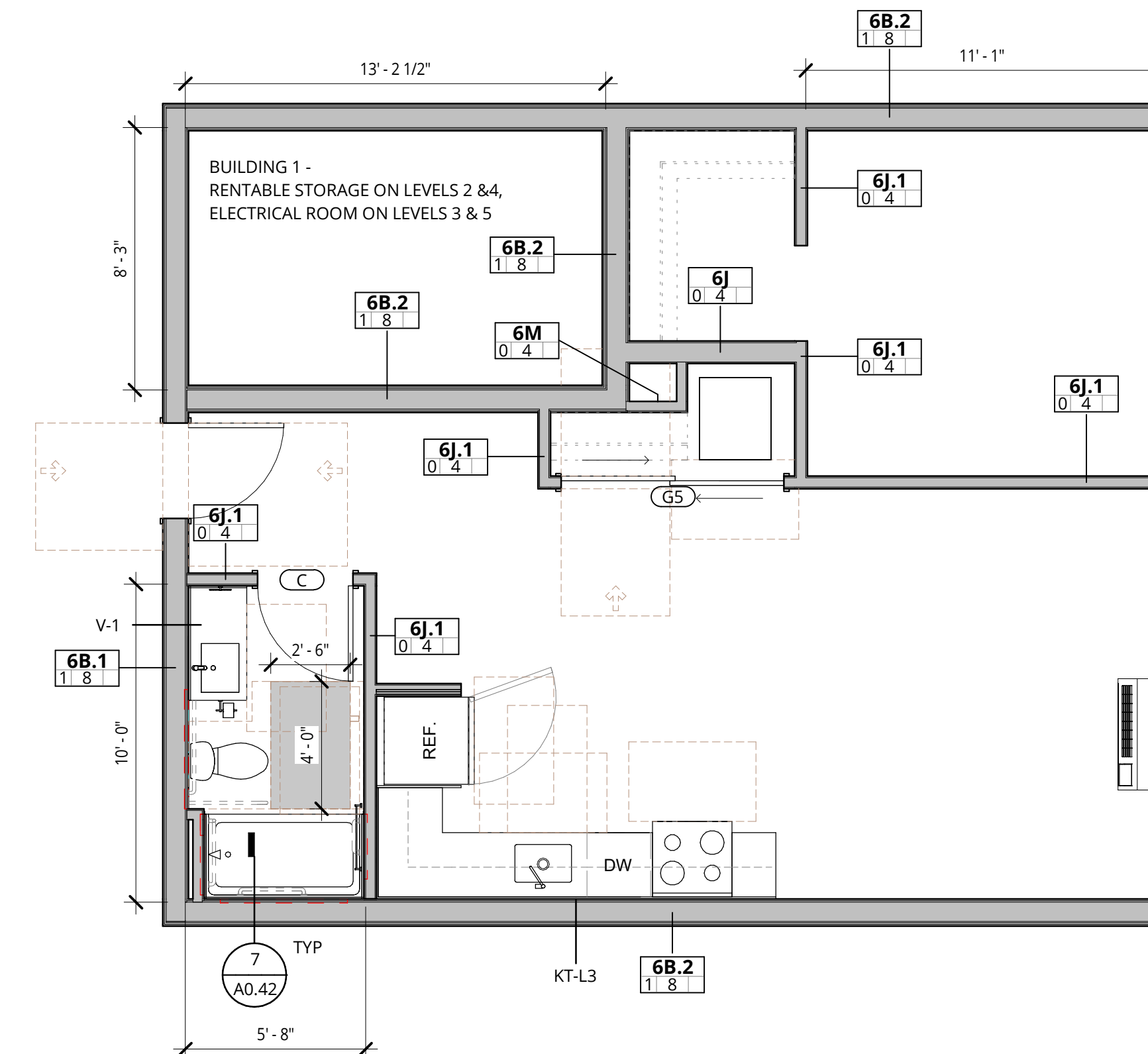
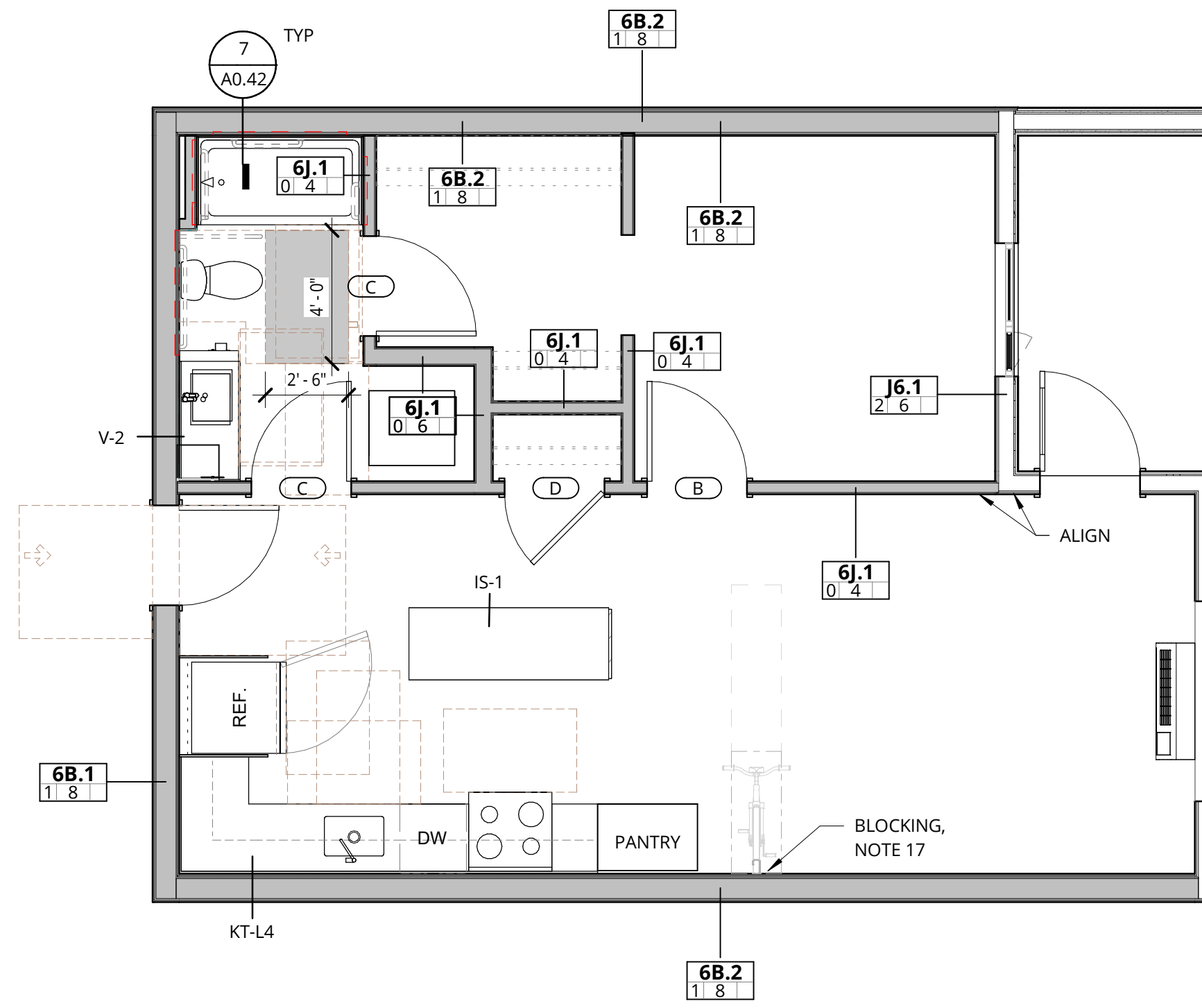
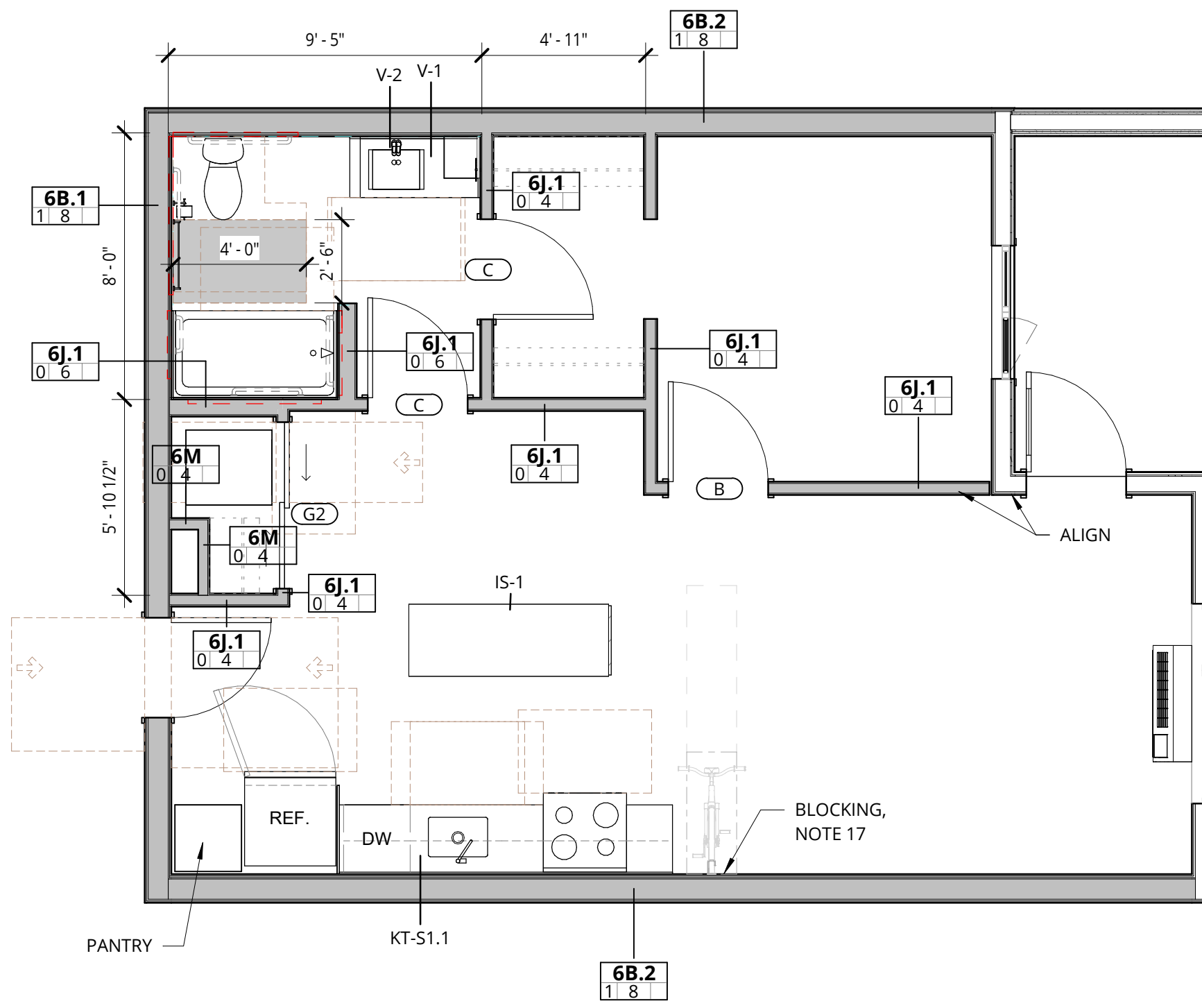
GENERAL NOTES - ENLARGED PLANS

- 1. REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- 2. SEE SLAB PLANS FOR CONCRETE AND MASONRY WALL LOCATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.
- 3. SEE SHEETS **A0.21, A0.22** FOR WALL ASSEMBLY INFORMATION.
- 4. SEE SHEETS BEGINNING ON A5.01 FOR TYPICAL ACCESSIBILITY CLEARANCES.
- 5. PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING A5.01.
- 6. DWELLING UNITS ARE TYPE 'B' UNLESS NOTED OTHERWISE. PROVIDE REINFORCEMENT IN WALLS FOR FUTURE GRAB BAR INSTALLATION AT ALL WATER CLOSETS AND BATH/TUB/SHOWERS IN ALL RESIDENTIAL UNITS. SEE SHEETS **A5.05** AND **A5.06**.
- 7. TYPE A UNIT CLOSETS:
 - A. BEDROOM CLOSETS: PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 36" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 72" AFF.
 - B. ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FOR ONE HALF OF THE CLOSET WIDTH AND ONE AT 36" AFF FOR THE REMAINING HALF.
- 8. TYPE B UNIT BEDROOM CLOSETS:
 - A. PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 72" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 36" AFF.
 - B. TYPE B UNIT ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FULL WIDTH.
- 9. ALIGN CENTER OF CLOSET DOORS WITH THE CENTER OF CLOSET IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.
- 10. ALL REACH-IN RESIDENTIAL CLOSETS ARE 24" DEEP INSIDE CLEAR (FACE OF WALL TO FACE OF WALL) UNLESS NOTED OTHERWISE.
- 11. WING WALLS ADJACENT TO CASEWORK ARE 2'-2" LONG, UNLESS NOTED OTHERWISE.
- 12. WING WALLS OR FURRING WALLS ADJACENT TO BATHTUBS OR SHOWERS EXTEND A MAXIMUM OF 1'-1/2" BEYOND FACE OF SHIRT OR CURB, UNLESS NOTED OTHERWISE SUCH THAT TOTAL OVERLAP INTO A ACCESSIBILITY CLEARANCE (INCLUDING BASE) IS 2" OR LESS.
- 13. CONFORM TO MOUNTING HEIGHT REQUIREMENTS SHOWN ON **19/A5.01**.
- 14. PROVIDE CANE DETECTION IN ACCORDANCE WITH DETAIL **3/A5.01** BELOW OBJECTS WHICH PROJECT BEYOND THE LIMITS SHOWN IN DETAIL **3/A5.01**.
- 15. SEE VANITY ELEVATIONS ON SHEETS **A10.21**
- 16. SEE KITCHEN ELEVATIONS ON SHEETS **A10.11, A10.12** AND **A10.12** FOR ACCESSIBLE OUTLET AND SWITCH LOCATIONS.
- 17. PROVIDE BLOCKING FOR WALL MOUNTED BIKE RACK.
- 18. PROVIDE ADDITIONAL LAYERS OF GIP AS REQUIRED TO ALIGN FINISHES.
- 19. PROVIDE OUTLET AT SIDEWALL, 6" MAX FROM THE EDGE OF THE COUNTER.

NOT FOR CONSTRUCTION



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1 1 BED - 1.0
1/4" = 1'-0"

2 1 BED - 2.0
1/4" = 1'-0"

4 1 BED - 3.0
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER	UNIT NAME	UNIT NUMBER	UNIT NAME	UNIT NUMBER
BUILDING 1					
1 BR - 1.0	1-207	1 BR - 1.0	2-316	1 BR - 1.0	3-104
1 BR - 1.0	1-211	1 BR - 1.0	2-314	1 BR - 1.0	3-106
1 BR - 1.0	1-213	1 BR - 1.0	2-311	1 BR - 1.0	3-214
1 BR - 1.0	1-205	1 BR - 1.0	2-216	1 BR - 1.0	3-213
1 BR - 1.0	1-206	1 BR - 1.0	2-214	1 BR - 1.0	3-206
1 BR - 1.0	1-407	1 BR - 1.0	2-211	1 BR - 1.0	3-204
1 BR - 1.0	1-411	1 BR - 1.0	2-216	1 BR - 1.0	3-215
1 BR - 1.0	1-413	1 BR - 1.0	2-114	1 BR - 1.0	3-314
1 BR - 1.0	1-405	1 BR - 1.0	2-111	1 BR - 1.0	3-313
1 BR - 1.0	1-406	1 BR - 1.0	2-416	1 BR - 1.0	3-306
1 BR - 1.0	1-507	1 BR - 1.0	2-414	1 BR - 1.0	3-304
1 BR - 1.0	1-511	1 BR - 1.0	2-411	1 BR - 1.0	3-315
1 BR - 1.0	1-513	1 BR - 1.0	2-516	1 BR - 1.0	3-414
1 BR - 1.0	1-505	1 BR - 1.0	2-514	1 BR - 1.0	3-413
1 BR - 1.0	1-506	1 BR - 1.0	2-511	1 BR - 1.0	3-406
1 BR - 1.0	1-107			1 BR - 1.0	3-404
1 BR - 1.0	1-111			1 BR - 1.0	3-415
1 BR - 1.0	1-113			1 BR - 1.0	3-514
1 BR - 1.0	1-105			1 BR - 1.0	3-513
1 BR - 1.0	1-106			1 BR - 1.0	3-506
1 BR - 1.0	1-306			1 BR - 1.0	3-504
1 BR - 1.0	1-305			1 BR - 1.0	3-515
1 BR - 1.0	1-307			1 BR - 1.0	3-114
1 BR - 1.0	1-311			1 BR - 1.0	3-113
1 BR - 1.0	1-313			1 BR - 1.0	3-115

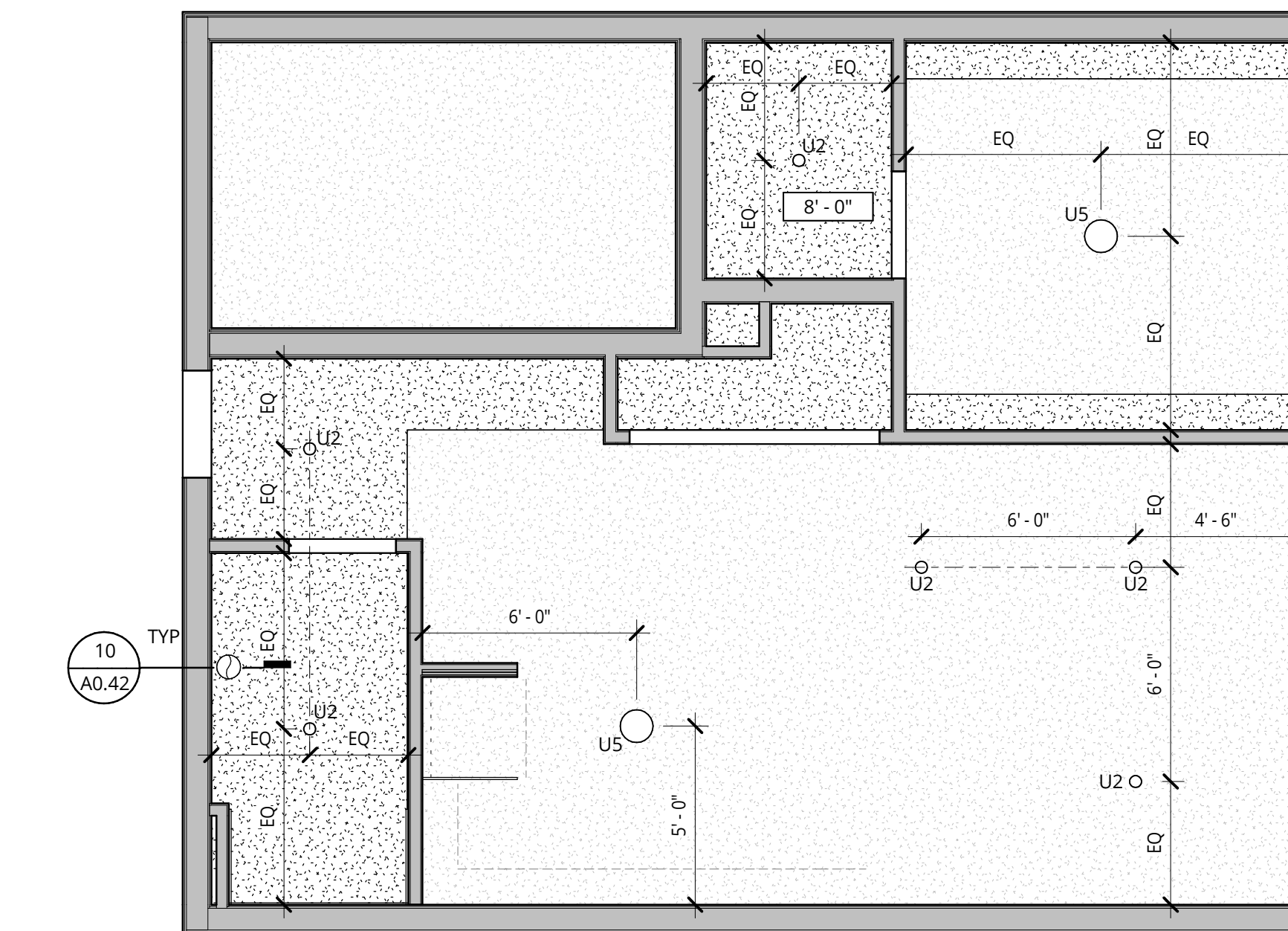
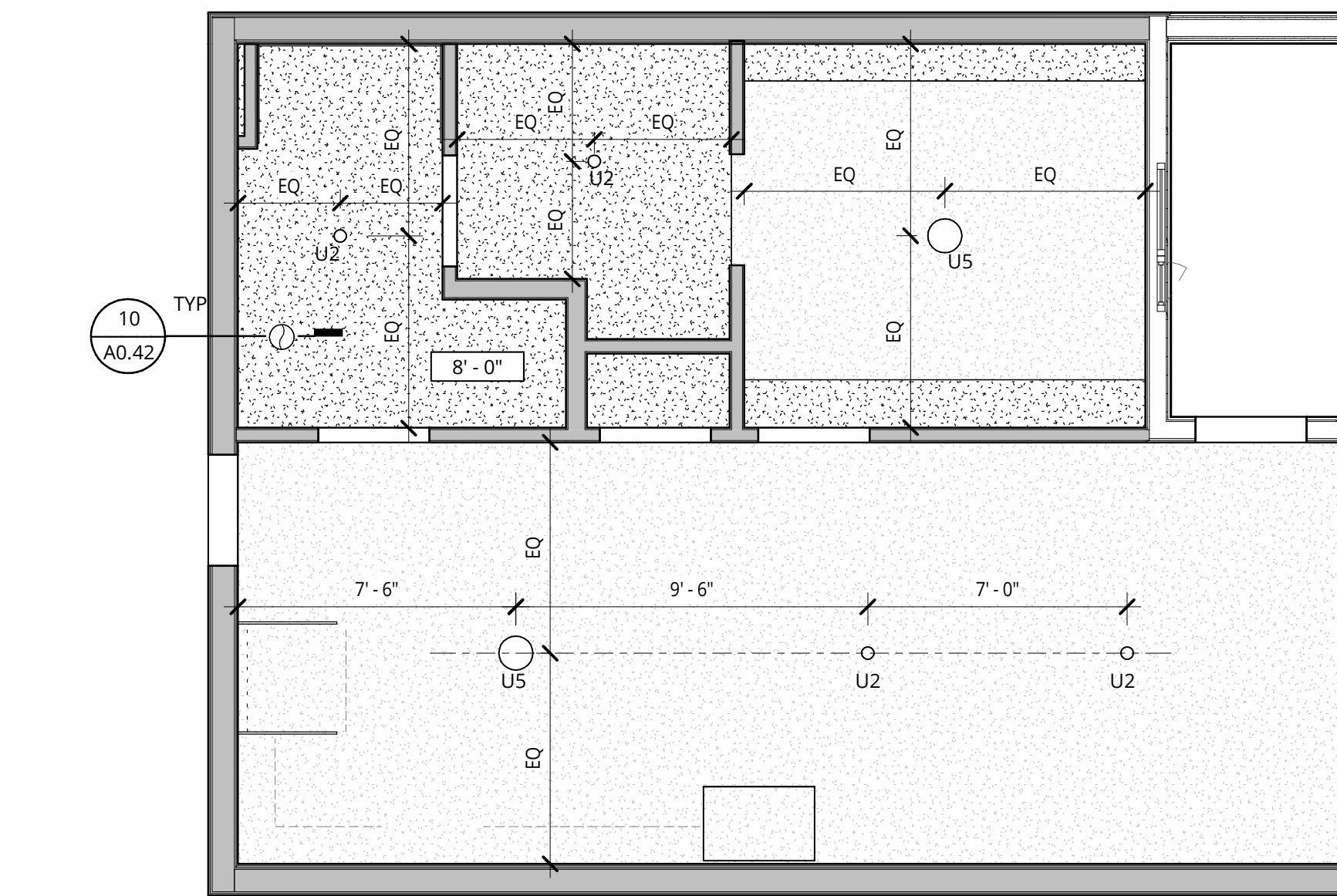
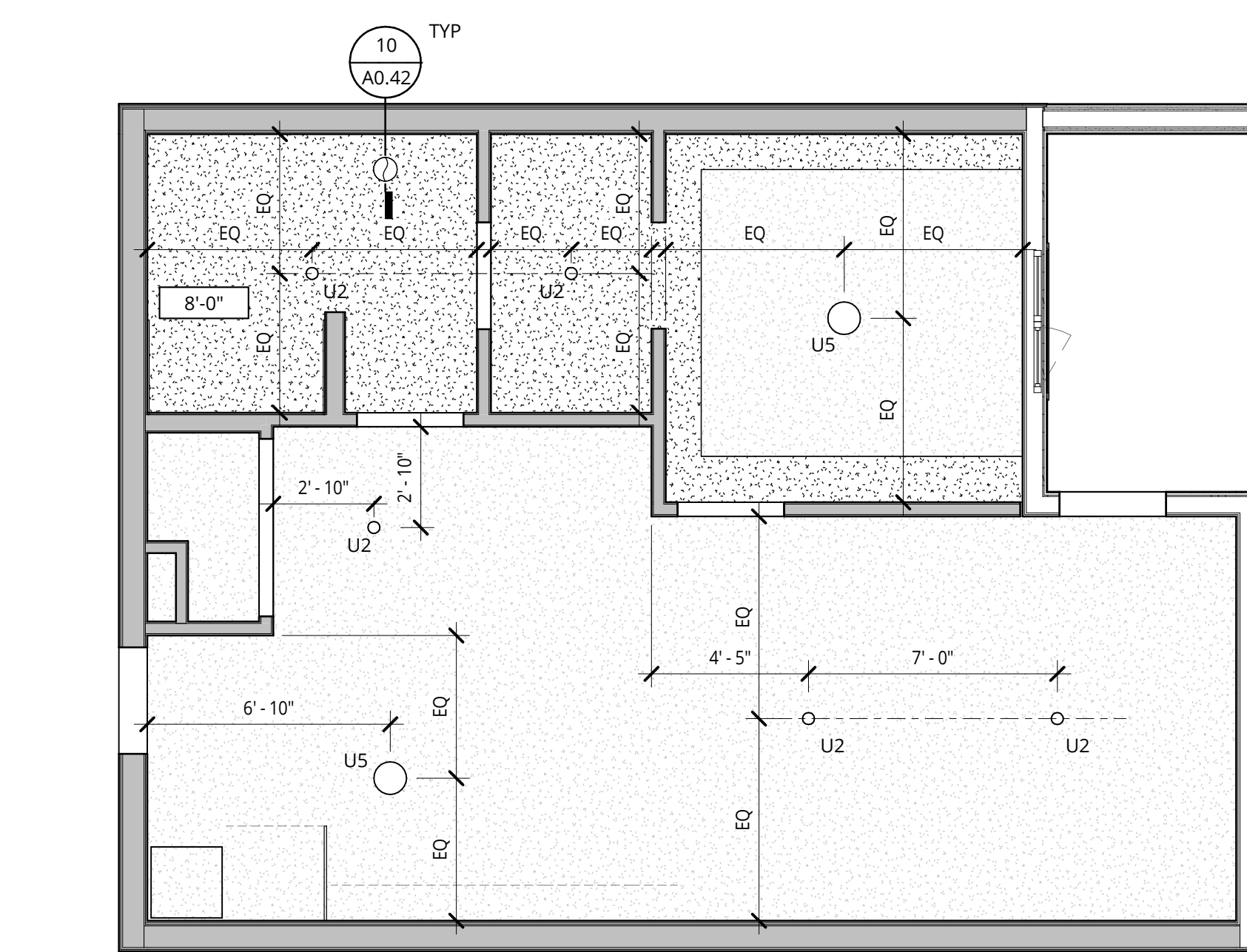
UNIT NAME	UNIT NUMBER	UNIT NAME	UNIT NUMBER	UNIT NAME	UNIT NUMBER
BUILDING 2					
1 BR - 2.0	1-212	1 BR - 2.0	1-312	1 BR - 2.0	2-405
1 BR - 2.0	1-412	1 BR - 2.0	2-303	1 BR - 2.0	2-503
1 BR - 2.0	1-512	1 BR - 2.0	2-305	1 BR - 2.0	2-505
1 BR - 2.0	1-112	1 BR - 2.0	2-203	1 BR - 2.0	3-103
		1 BR - 2.0	2-205	1 BR - 2.0	3-105
		1 BR - 2.0	2-106	1 BR - 2.0	3-210
		1 BR - 2.0	2-103	1 BR - 2.0	3-205
		1 BR - 2.0	2-403	1 BR - 2.0	3-203
		1 BR - 2.0		1 BR - 2.0	3-310
		1 BR - 2.0		1 BR - 2.0	3-305
		1 BR - 2.0		1 BR - 2.0	3-303
		1 BR - 2.0		1 BR - 2.0	3-410
		1 BR - 2.0		1 BR - 2.0	3-405
		1 BR - 2.0		1 BR - 2.0	3-403
		1 BR - 2.0		1 BR - 2.0	3-510
		1 BR - 2.0		1 BR - 2.0	3-505
		1 BR - 2.0		1 BR - 2.0	3-503

UNIT NAME	UNIT NUMBER
BUILDING 1	
1 BR - 3.0	1-303
1 BR - 3.0	1-303
1 BR - 3.0	1-403
1 BR - 3.0	1-503

RCP LEGEND

- LIGHTING**
- LINEAR
 - PENDANT
 - U2 - LED SURFACE MOUNT LIGHT
 - U5 - LED SURFACE MOUNT LIGHT
 - RECESSED DOWNLIGHT
 - RECESSED WALL WASHER
 - UNDER CABINET LINEAR
 - COVE AND/OR WALL GRAZE LIGHTING
 - WALL SCIENCE
 - VANITY FIXTURE
 - EXHAUST FAN

- CEILINGS**
- BOTTOM OF FLOOR ASSEMBLY GYPSUM WALLBOARD
 - DROPPED GYPSUM BOARD CEILING BELOW RATED ASSEMBLY. SEE PLANS FOR HEIGHTS.
 - WOOD PLANK CEILING TILE TYPE (WD-S)
 - VENTED SOFFIT - PAINTED FC TRIM SLATS
 - ACT-1 TECTUM FINALE PANELS - INSTALL PER MANUFACTURER INSTRUCTIONS FOR D-20 INSTALLATION METHOD
 - ACT-2 EXPANDED MESH LAY-IN CEILING
 - WOOD OR MDF PANEL APPLIED TO CEILING - SEE INTERIOR DETAILS



5 RCP - 1 BED - 1.0
1/4" = 1'-0"

6 RCP - 1 BED - 2.0
1/4" = 1'-0"

7 RCP - 1 BED - 3.0
1/4" = 1'-0"

ELMONICA
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

UNIT PLANS, RCPS

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A5.22

MEP COORDINATION NOTES

- ONE ERV PER RESIDENTIAL UNIT WITH RECIRCULATING VENT HOOD AND CONTINUOUS EXHAUST FROM KITCHEN TO ERV. ONE SEPARATE INTAKE AND EXHAUST LOUVER AT EXTERIOR WALL PER UNIT. NOTE THAT EXTERIOR ELEVATIONS SHOW ONE LARGER LOUVER WHICH WILL BE SPLIT IN TO TWO SMALLER ONES. ROUTING OF DUCTS, DROP CEILINGS, AND DISTANCE FROM WINDOW OPERABLE TO BE COORDINATED AFTER DD SET.
- PROVIDE TRANSFER FAN FOR VENTILATION AT BEDROOM AREA AT STUDIOS THAT 1.0, 1.1, 1.2.

**GENERAL NOTES
REFLECTED CEILING PLANS**

- REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- ADJUST LIGHT GAUGE METAL FRAMING SIZE, GAUGE AND SPACING AT SOFFITS AND CEILINGS TO MEET MANUFACTURER'S PUBLISHED SPAN TABLES, SPECIFIED DEFLECTION CRITERIA, AND TO SUPPORT BOTH GRAVITY AND LATERAL LOADS.
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- REFER TO MECHANICAL DRAWINGS FOR VENTING AND DUCTING LOCATIONS.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURES TYPES, LIGHTING SWITCHING LOCATIONS, LOW VOLTAGE DESIGN, AND RECEPTACLE LOCATIONS.
- FIRE STOP ALL PENETRATIONS THROUGH RATED WALLS AND CEILINGS. PROVIDE FIRE DAMPERS AND/OR FIRE SMOKE DAMPERS AT OPENINGS. REFER TO MECHANICAL DRAWINGS.
- PROVIDE ACCESS PANELS (PRE RATED WHERE REQUIRED) AT ALL NECESSARY LOCATIONS.
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- PROVIDE SEISMIC JOINTS IN ALL CEILINGS AS REQUIRED BY THE MOST STRINGENT APPLICABLE CODE WHETHER INDICATED ON THE DRAWINGS OR NOT. FOR LOCATIONS NOT SHOWN, REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
- TYPICAL GYPSUM WALLBOARD ON CEILINGS IS 5/8 INCH UNLESS NOTED OTHERWISE.
- REFER TO INDIVIDUAL ENLARGED UNIT PLANS FOR CEILING INFORMATION WITHIN RESIDENTIAL UNITS.
- DECORATIVE LIGHTING WITH TAGS IS FOR AMENITY AREAS. REFER TO AS SERIES FOR GENERAL AND BACK OF HOUSE LIGHTING.
- REFER TO ROOM FINISH SCHEDULE FOR ROLLERSHADE LOCATIONS. ALL EXTERIOR WINDOWS WITHIN THAT ROOM ARE TO RECEIVE A ROLLERSHADE, U.N.O.

GENERAL NOTES - ENLARGED PLANS

- REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SLAB PLANS FOR CONCRETE AND MASONRY WALL LOCATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.
- SEE SHEETS **A0.21, A0.22** FOR WALL ASSEMBLY INFORMATION.
- SEE SHEETS BEGINNING ON A5.01 FOR TYPICAL ACCESSIBILITY CLEARANCES.
- PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING A5.01.
- DWELLING UNITS ARE TYPE 'B' UNLESS NOTED OTHERWISE. PROVIDE REINFORCEMENT IN WALLS FOR FUTURE GRAB BAR INSTALLATION AT ALL WATER CLOSETS AND BATH/TUB/SHOWERS IN ALL RESIDENTIAL UNITS. SEE SHEETS **A5.05** AND **A5.06**.
- TYPE A UNIT CLOSETS:
 - BEDROOM CLOSETS: PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 36" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 72" AFF. ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FOR ONE HALF OF THE CLOSET WIDTH AND ONE AT 36" AFF FOR THE REMAINING HALF.
 - TYPE B UNIT BEDROOM CLOSETS:
 - PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 72" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 36" AFF.
 - TYPE B UNIT ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FULL WIDTH.
- ALIGN CENTER OF CLOSET DOORS WITH THE CENTER OF CLOSET IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.
- ALL REACH-IN RESIDENTIAL CLOSETS ARE 24" DEEP INSIDE CLEAR (FACE OF WALL TO FACE OF WALL) UNLESS NOTED OTHERWISE.
- WING WALLS ADJACENT TO CASEWORK ARE 2'-2" LONG, UNLESS NOTED OTHERWISE.
- WING WALLS OR FURRING WALLS ADJACENT TO BATHTUBS OR SHOWERS EXTEND A MAXIMUM OF 1-1/2" BEYOND FACE OF SHIRT OR CURB, UNLESS NOTED OTHERWISE SUCH THAT TOTAL OVERLAP INTO A ACCESSIBILITY CLEARANCE (INCLUDING BASE) IS 2" OR LESS.
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- PROVIDE CANE DETECTION IN ACCORDANCE WITH DETAIL **3/A5.01** BELOW OBJECTS WHICH PROJECT BEYOND THE LIMITS SHOWN IN DETAIL **3/A5.01**.
- SEE VANITY ELEVATIONS ON SHEETS **A10.21**
- SEE VANITY ELEVATIONS ON SHEETS **A10.11, A10.12** AND **A10.12** FOR ACCESSIBLE OUTLET AND SWITCH LOCATIONS.
- PROVIDE BLOCKING FOR WALL MOUNTED BIKE RACK.
- PROVIDE ADDITIONAL LAYERS OF GIP AS REQUIRED TO ALIGN FINISHES.
- PROVIDE OUTLET AT SIDEWALL, 6" MAX FROM THE EDGE OF THE COUNTER.

NOT FOR CONSTRUCTION

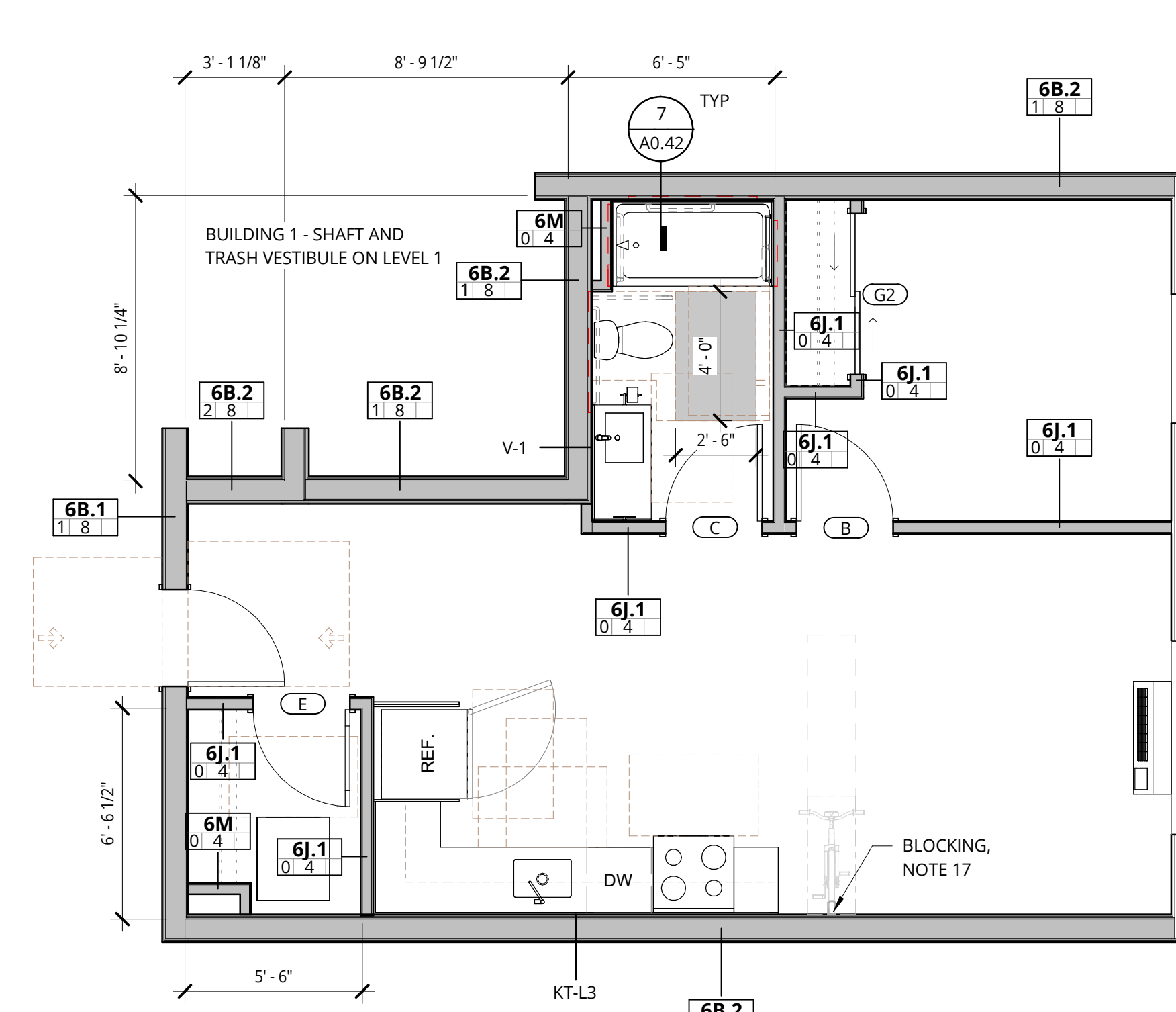
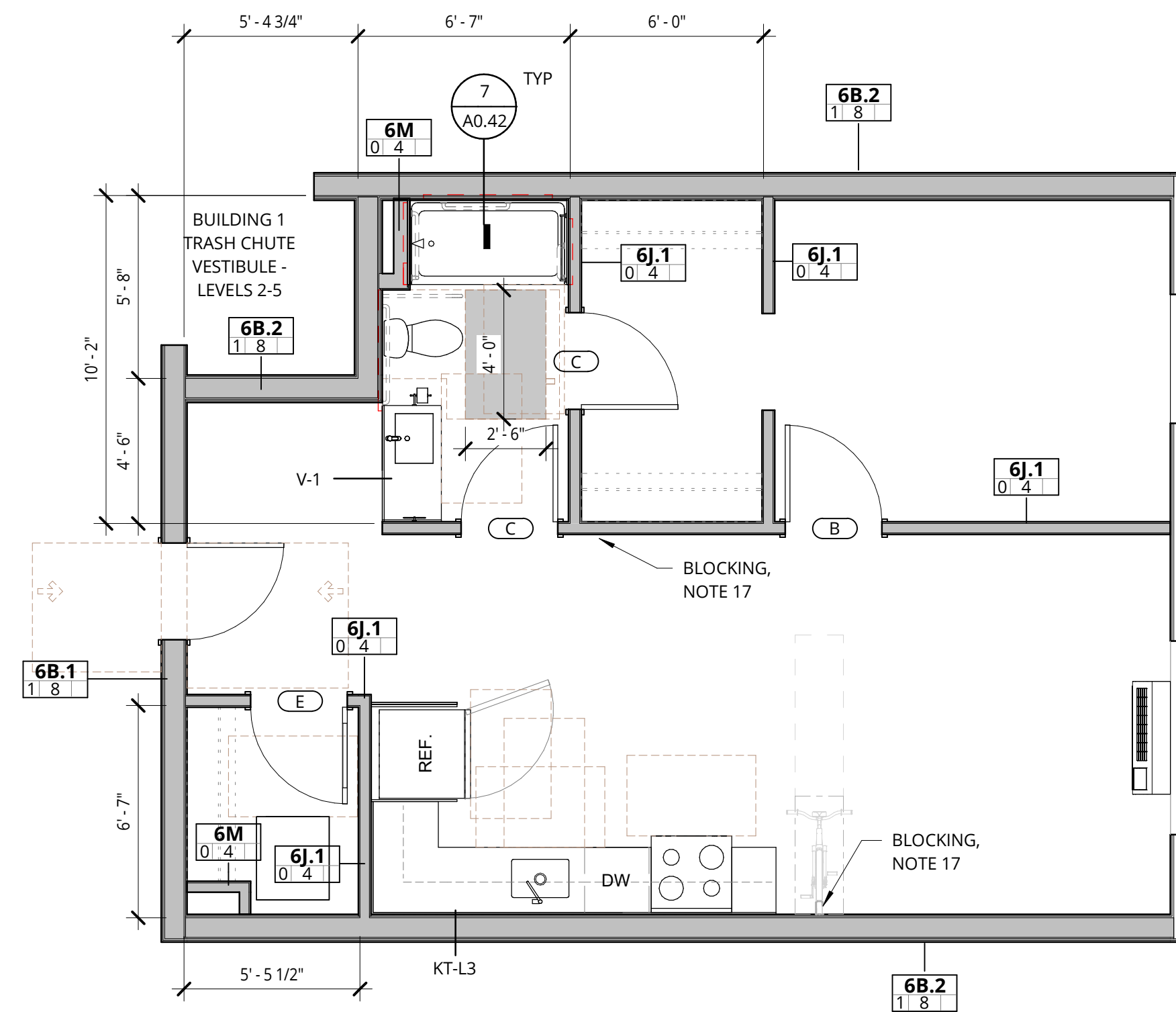
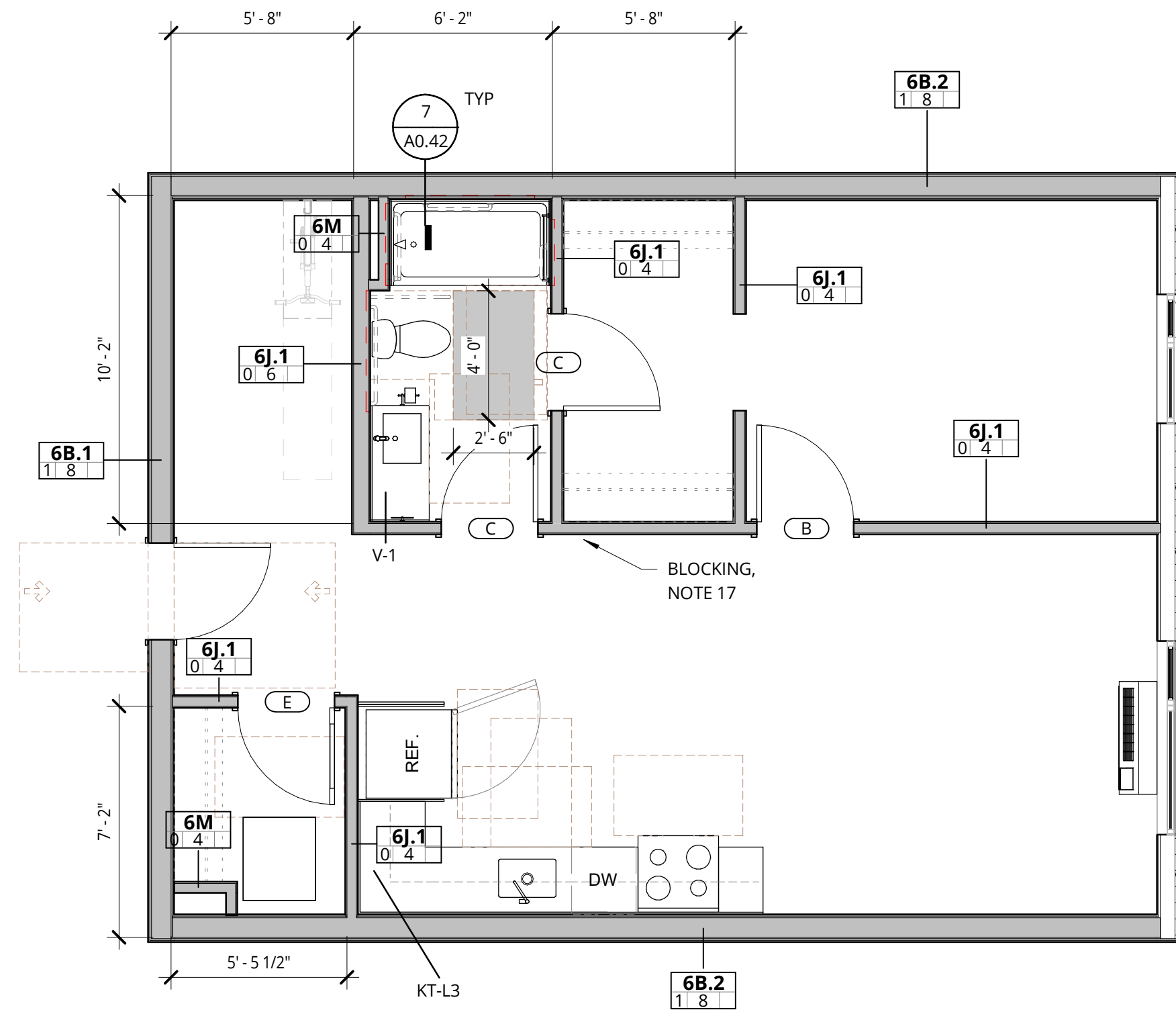


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1 1 BED - 4.0
1/4" = 1'-0"

2 1 BED - 4.2
1/4" = 1'-0"

3 1 BED - 4.3
1/4" = 1'-0"

RCP LEGEND

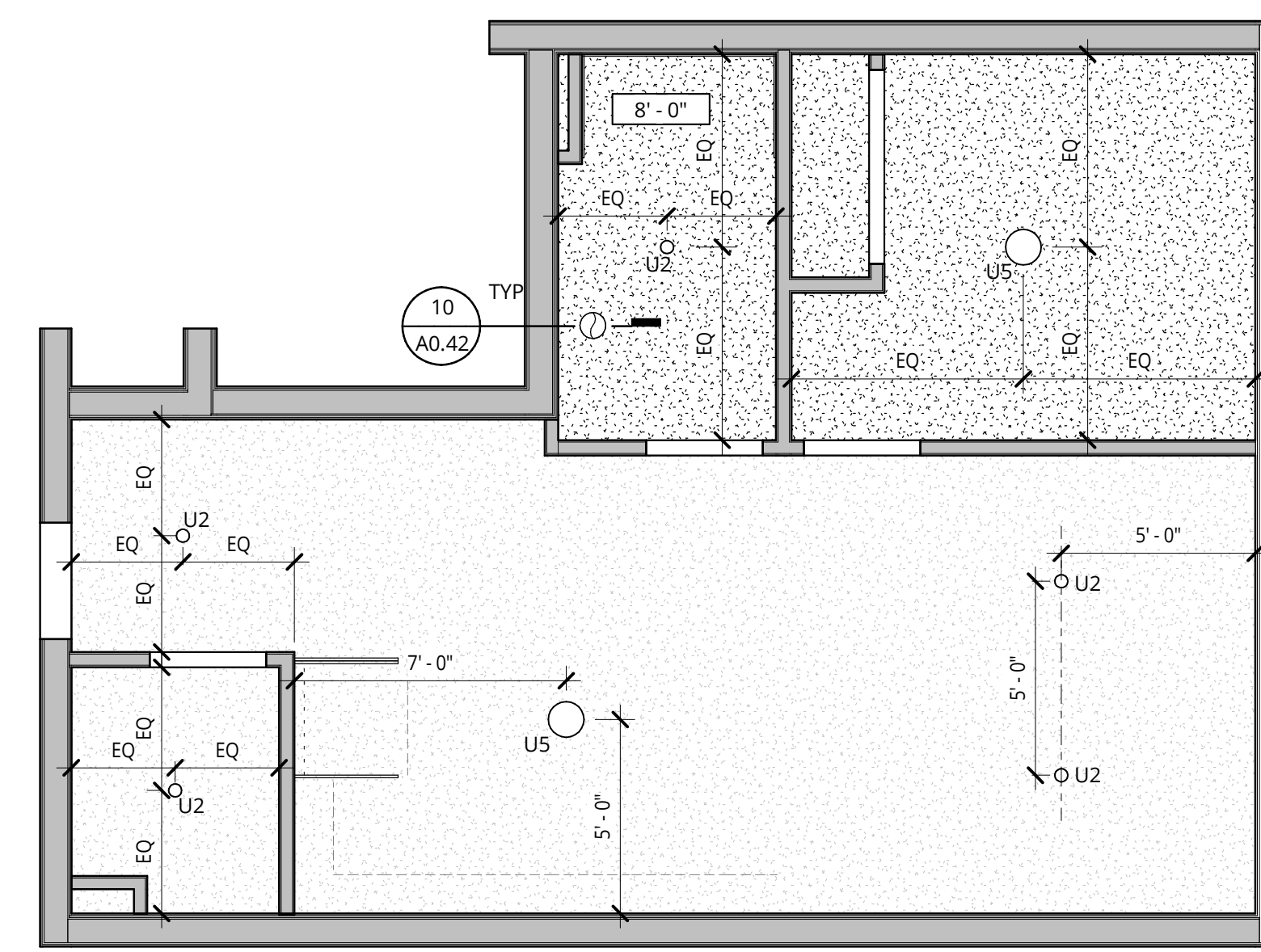
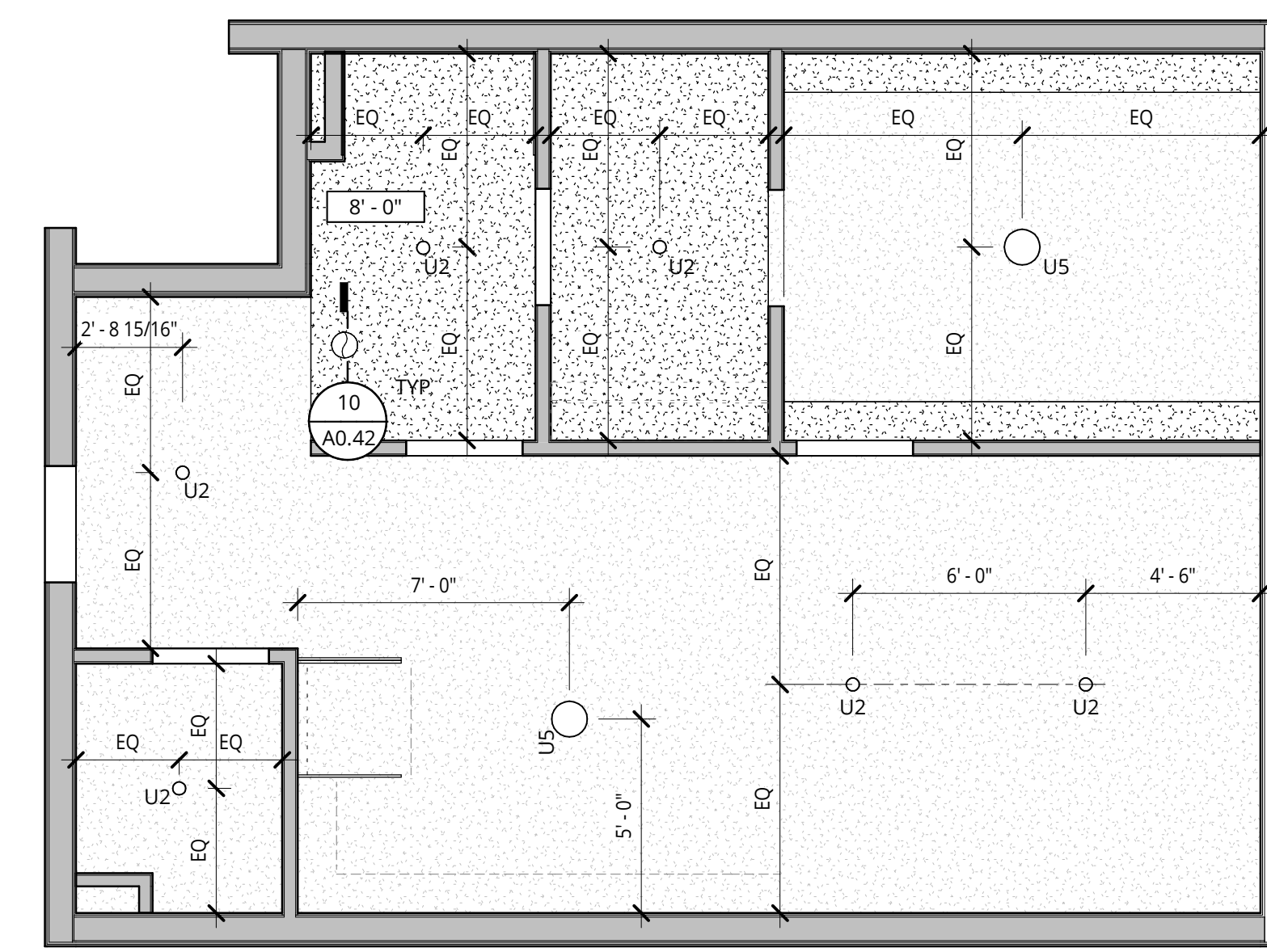
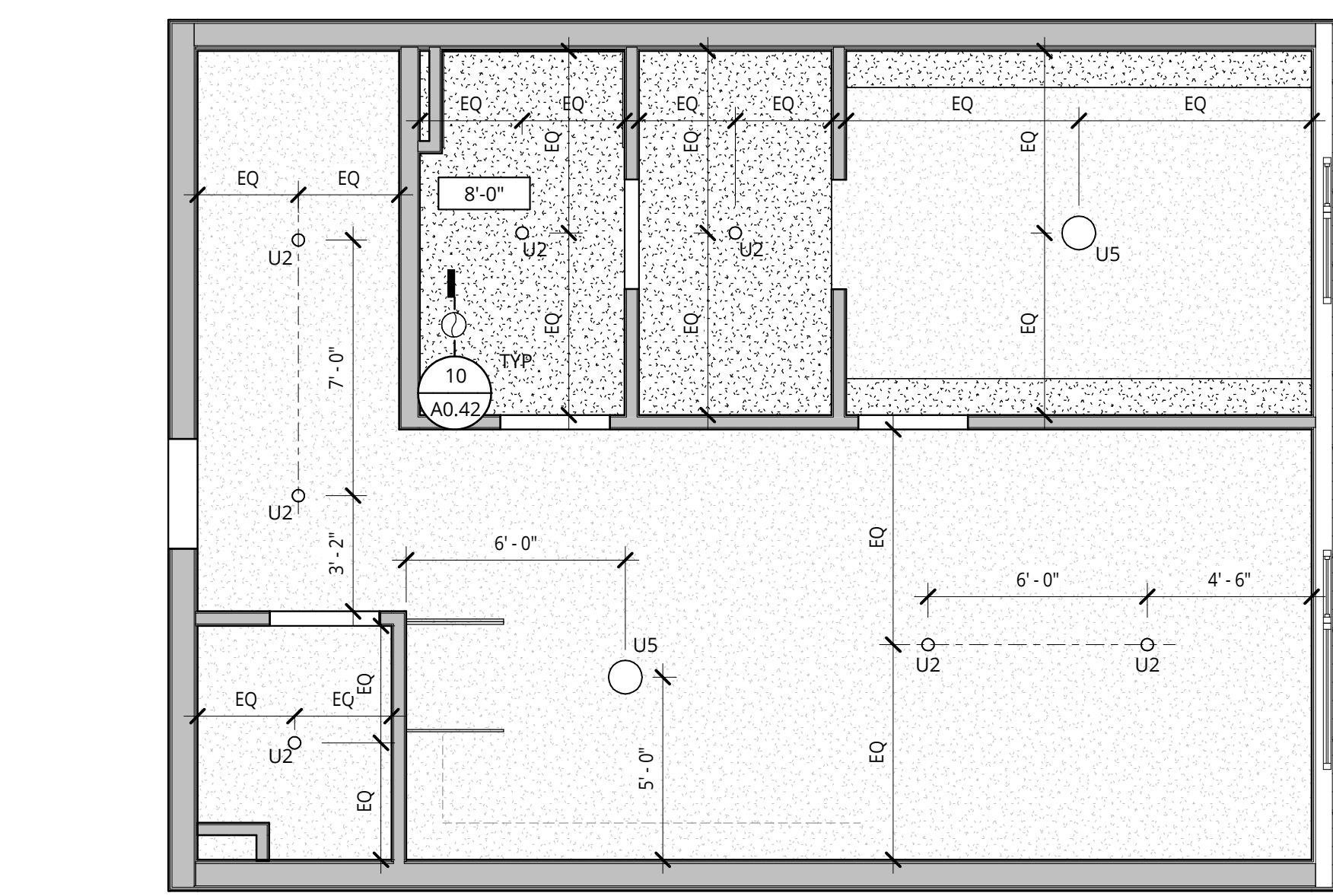
- LIGHTING**
- LINEAR
 - PENDANT
 - U2 - LED SURFACE MOUNT LIGHT
 - U5 - LED SURFACE MOUNT LIGHT
 - RECESSED DOWNLIGHT
 - RECESSED WALL WASHER
 - UNDER CABINET LINEAR
 - COVE AND/OR WALL GRAZE LIGHTING
 - WALL SCONCE
 - VANITY FIXTURE
 - EXHAUST FAN

- CEILINGS**
- BOTTOM OF FLOOR ASSEMBLY GYPSUM WALLBOARD
 - DROPPED GYPSUM BOARD CEILING BELOW RATED ASSEMBLY. SEE PLANS FOR HEIGHTS.
 - WOOD PLANK CEILING TILE TYPE (WD-S)
 - VENTED SOFFIT - PAINTED FC TRIM SLATS
 - ACT-1 TECTUM FINALE PANELS - INSTALL PER MANUFACTURER INSTRUCTIONS FOR D-20 INSTALLATION METHOD
 - ACT-3 EXPANDED MESH LAY-IN CEILING
 - WOOD OR MDF PANEL APPLIED TO CEILING - SEE INTERIOR DETAILS

BUILDING	UNIT NAME	UNIT NUMBER	BUILDING	UNIT NAME	UNIT NUMBER	BUILDING	UNIT NAME	UNIT NUMBER
BUILDING 1	1 BR - 4.0	1-409	BUILDING 1	1 BR - 4.0	2-310	BUILDING 1	1 BR - 4.0	3-311
BUILDING 1	1 BR - 4.0	1-509	BUILDING 1	1 BR - 4.0	2-212	BUILDING 1	1 BR - 4.0	3-411
BUILDING 1	1 BR - 4.0	1-309	BUILDING 1	1 BR - 4.0	2-112	BUILDING 1	1 BR - 4.0	3-411
BUILDING 1	1 BR - 4.0	1-309	BUILDING 1	1 BR - 4.0	2-110	BUILDING 1	1 BR - 4.0	3-511
BUILDING 2	1 BR - 4.0	2-312	BUILDING 1	1 BR - 4.0	2-412	BUILDING 2	1 BR - 4.0	2-410
			BUILDING 2	1 BR - 4.0	2-512	BUILDING 3	1 BR - 4.0	2-510
			BUILDING 3	1 BR - 4.0	3-211			

BUILDING	UNIT NAME	UNIT NUMBER
BUILDING 1	1 BR - 4.2	1-214
BUILDING 1	1 BR - 4.2	1-314
BUILDING 1	1 BR - 4.2	1-414
BUILDING 1	1 BR - 4.2	1-514

BUILDING	UNIT NAME	UNIT NUMBER
BUILDING 1	1 BR - 4.3	1-115



5 RCP - 1 BR - 4.0
1/4" = 1'-0"

6 RCP - 1 BR - 4.2
1/4" = 1'-0"

7 RCP - 1 BR - 4.3
1/4" = 1'-0"

ELMONICA
SW 170TH AND W BASELINE
REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

UNIT PLANS, RCPS

LAND USE

DATE	PROJECT NUMBER
5.25.2023	215390

SHEET NUMBER
A5.23

MEP COORDINATION NOTES

- ONE ERV PER RESIDENTIAL UNIT WITH RECIRCULATING VENT HOOD AND CONTINUOUS EXHAUST FROM KITCHEN TO ERV. ONE SEPARATE INTAKE AND EXHAUST LOUVER AT EXTERIOR WALL PER UNIT. NOTE THAT EXTERIOR ELEVATIONS SHOW ONE LARGER LOUVER WHICH WILL BE SPLIT IN TO TWO SMALLER ONES. ROUTING OF DUCTS, DROP CEILINGS, AND DISTANCE FROM WINDOW OPERABLE TO BE COORDINATED AFTER DD SET.
- PROVIDE TRANSFER FAN FOR VENTILATION AT BEDROOM AREA AT STUDIOS THAT 1.0, 1.1, 1.2

**GENERAL NOTES
REFLECTED CEILING PLANS**

- REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- ADJUST LIGHT GAUGE METAL FRAMING SIZE, GAUGE AND SPACING AT SOFFITS AND CEILINGS TO MEET MANUFACTURER'S PUBLISHED SPAN TABLES, SPECIFIED DEFLECTION CRITERIA, AND TO SUPPORT BOTH GRAVITY AND LATERAL LOADS.
- CEILING AND SOFFIT HEIGHTS ARE MEASURED VERTICALLY FROM THE FINISHED FACE OF CEILING OR SOFFIT TO FLOOR LEVEL, UNLESS NOTED OTHERWISE.
- LOCATE SPRINKLER HEADS, HVAC GRILLS, TRIM, SMOKE DETECTORS, GAS ANTENNAS, RECESSED LIGHT FIXTURES AND OTHER CEILING MOUNTED DEVICES IN THE CENTER OF ACOUSTICAL CEILING TILES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
- ALIGN HVAC GRILLS, DIFFUSERS AND OTHER TRIM WITH SPRINKLER HEADS, SMOKE DETECTORS, SPEAKERS AND OTHER CEILING MOUNTED DEVICES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
- CENTER LUMINAIRES (OR GROUPS OF LUMINAIRES) WITHIN THE ROOM OR SPACE, AND CENTER FIXTURES WITHIN CEILING TILE PANELS, UNLESS DIMENSIONED OTHERWISE.
- PROVIDE CONTROL JOINTS IN GYPSUM WALLBOARD SOFFITS AND CEILINGS AS INDICATED, OR AT MAX 30' ON CENTER EACH WAY IF NOT INDICATED.
- REFER TO MECHANICAL DRAWINGS FOR VENTING AND DUCTING LOCATIONS.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURES TYPES, LIGHTING SWITCHING LOCATIONS, LOW VOLTAGE DESIGN, AND RECEPTACLE LOCATIONS.
- FIRE STOP ALL PENETRATIONS THROUGH RATED WALLS AND CEILINGS. PROVIDE FIRE DAMPERS AND/OR FIRE SMOKE DAMPERS AT OPENINGS. REFER TO MECHANICAL DRAWINGS.
- PROVIDE ACCESS PANELS (PRE RATED WHERE REQUIRED) AT ALL NECESSARY LOCATIONS.
- ALL WALLS ARE FULL HEIGHT TO STRUCTURE ABOVE UNLESS OTHERWISE NOTED. PROVIDE FIRE STOPPING AND ACOUSTIC SEALANT AT RATED WALLS. SEE FIRE/LIFE SAFETY SHEETS BEGINNING ON G2.01 FOR ADDITIONAL INFORMATION.
- PROVIDE SEISMIC JOINTS IN ALL CEILINGS AS REQUIRED BY THE MOST STRINGENT APPLICABLE CODE WHETHER INDICATED ON THE DRAWINGS OR NOT. FOR LOCATIONS NOT SHOWN, REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
- TYPICAL GYPSUM WALLBOARD ON CEILINGS IS 5/8 INCH UNLESS NOTED OTHERWISE.
- REFER TO INDIVIDUAL ENLARGED UNIT PLANS FOR CEILING INFORMATION WITHIN RESIDENTIAL UNITS
- DECORATIVE LIGHTING WITH TAGS IS FOR AMENITY AREAS. REFER TO A8 SERIES FOR GENERAL AND BACK OF HOUSE LIGHTING
- REFER TO ROOM FINISH SCHEDULE FOR ROLLERSHADE LOCATIONS. ALL EXTERIOR WINDOWS WITHIN THAT ROOM ARE TO RECEIVE A ROLLERSHADE, U.N.O.

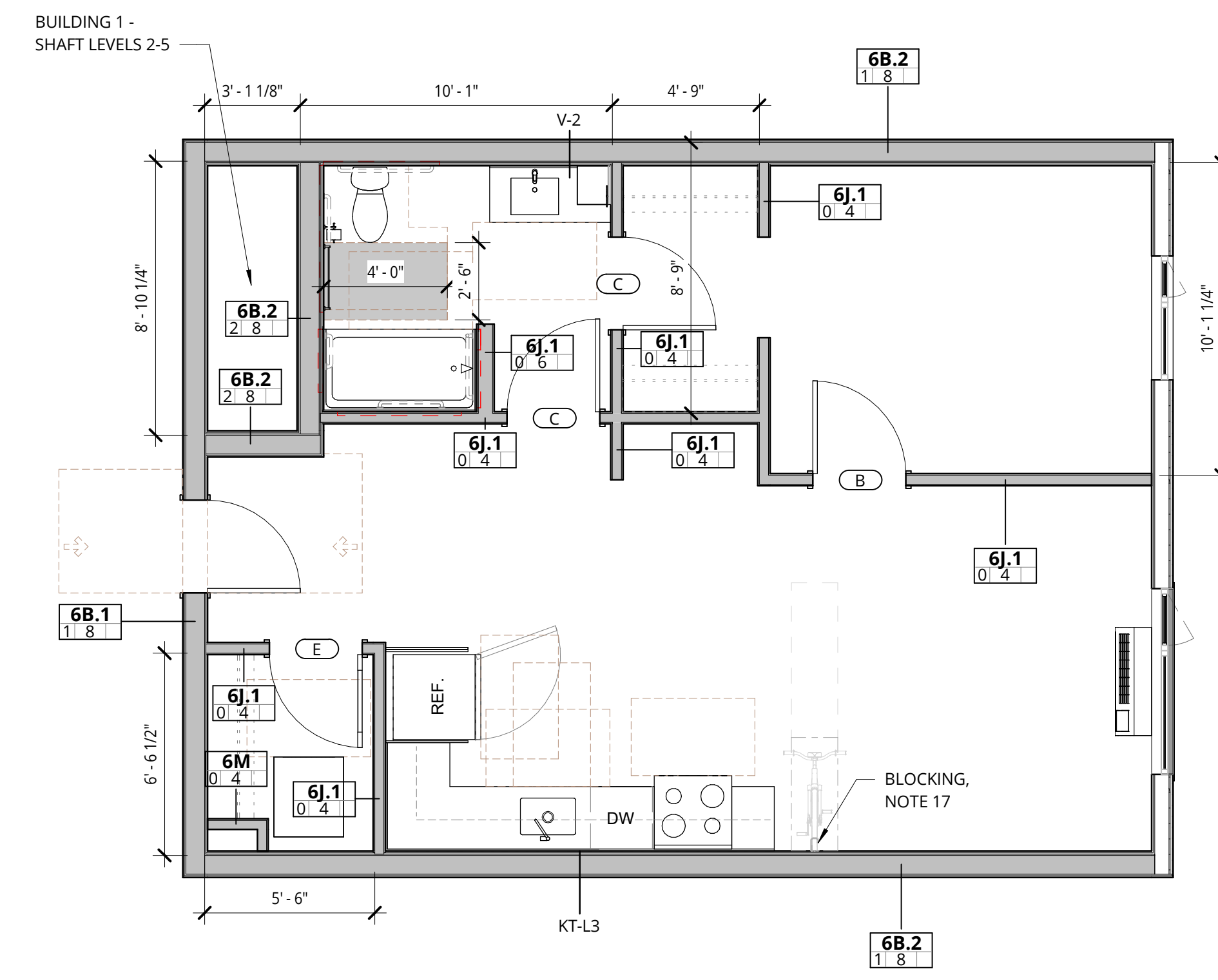
GENERAL NOTES - ENLARGED PLANS

- REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE SLAB PLANS FOR CONCRETE AND MASONRY WALL LOCATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.
- SEE SHEETS **A0.21, A0.22** FOR WALL ASSEMBLY INFORMATION.
- SEE SHEETS BEGINNING ON A5.01 FOR TYPICAL ACCESSIBILITY CLEARANCES.
- PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING A5.01.
- DWELLING UNITS ARE TYPE 'B' UNLESS NOTED OTHERWISE. PROVIDE REINFORCEMENT IN WALLS FOR FUTURE GRAB BAR INSTALLATION AT ALL WATER CLOSETS AND BATH/TUB/SHOWERS IN ALL RESIDENTIAL UNITS. SEE SHEETS **A5.05** AND **A5.06**.
- TYPE A UNIT CLOSETS:
 - BEDROOM CLOSETS: PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 36" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 72" AFF.
 - ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FOR ONE HALF OF THE CLOSET WIDTH AND ONE AT 36" AFF FOR THE REMAINING HALF.
- TYPE B UNIT BEDROOM CLOSETS:
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 - TYPE B UNIT ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FULL WIDTH.
- ALIGN CENTER OF CLOSET DOORS WITH THE CENTER OF CLOSET IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.
- ALL REACH-IN RESIDENTIAL CLOSETS ARE 24" DEEP INSIDE CLEAR (FACE OF WALL TO FACE OF WALL) UNLESS NOTED OTHERWISE.
- WING WALLS ADJACENT TO CASEWORK ARE 2'-2" LONG, UNLESS NOTED OTHERWISE.
- WING WALLS OR FURRING WALLS ADJACENT TO BATHTUBS OR SHOWERS EXTEND A MAXIMUM OF 1'-1/2" BEYOND FACE OF SHIRT OR CURB, UNLESS NOTED OTHERWISE SUCH THAT TOTAL OVERLAP INTO A ACCESSIBILITY CLEARANCE (INCLUDING BASE) IS 2" OR LESS
- CONFORM TO MOUNTING HEIGHT REQUIREMENTS SHOWN ON **19/A5.01**.
- PROVIDE CANE DETECTION IN ACCORDANCE WITH DETAIL **3/A5.01** BELOW OBJECTS WHICH PROJECT BEYOND THE LIMITS SHOWN IN DETAIL **3/A5.01**.
- SEE VANITY ELEVATIONS ON SHEETS **A10.21**
- SEE VANITY ELEVATIONS ON SHEETS **A10.11, A10.12** AND **A10.12** FOR ACCESSIBLE OUTLET AND SWITCH LOCATIONS.
- PROVIDE BLOCKING FOR WALL MOUNTED BIKE RACK.
- PROVIDE ADDITIONAL LAYERS OF GIP AS REQUIRED TO ALIGN FINISHES.
- PROVIDE OUTLET AT SIDEWALL, 6" MAX FROM THE EDGE OF THE COUNTER.

NOT FOR CONSTRUCTION

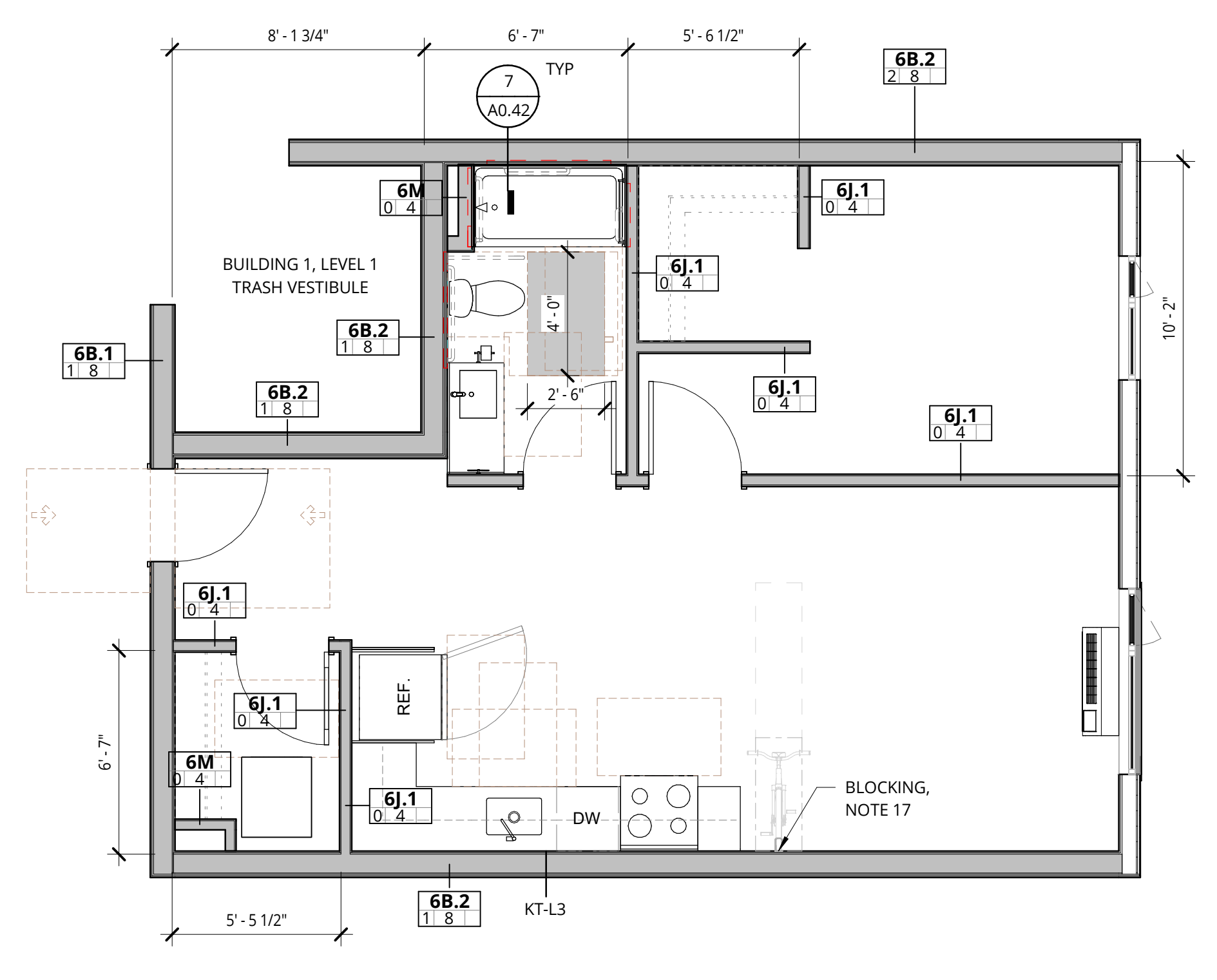


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1 1 BED - 4.4
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER
BUILDING 1	
1 BR - 4.4	1-215
1 BR - 4.4	1-315
1 BR - 4.4	1-415
1 BR - 4.4	1-515



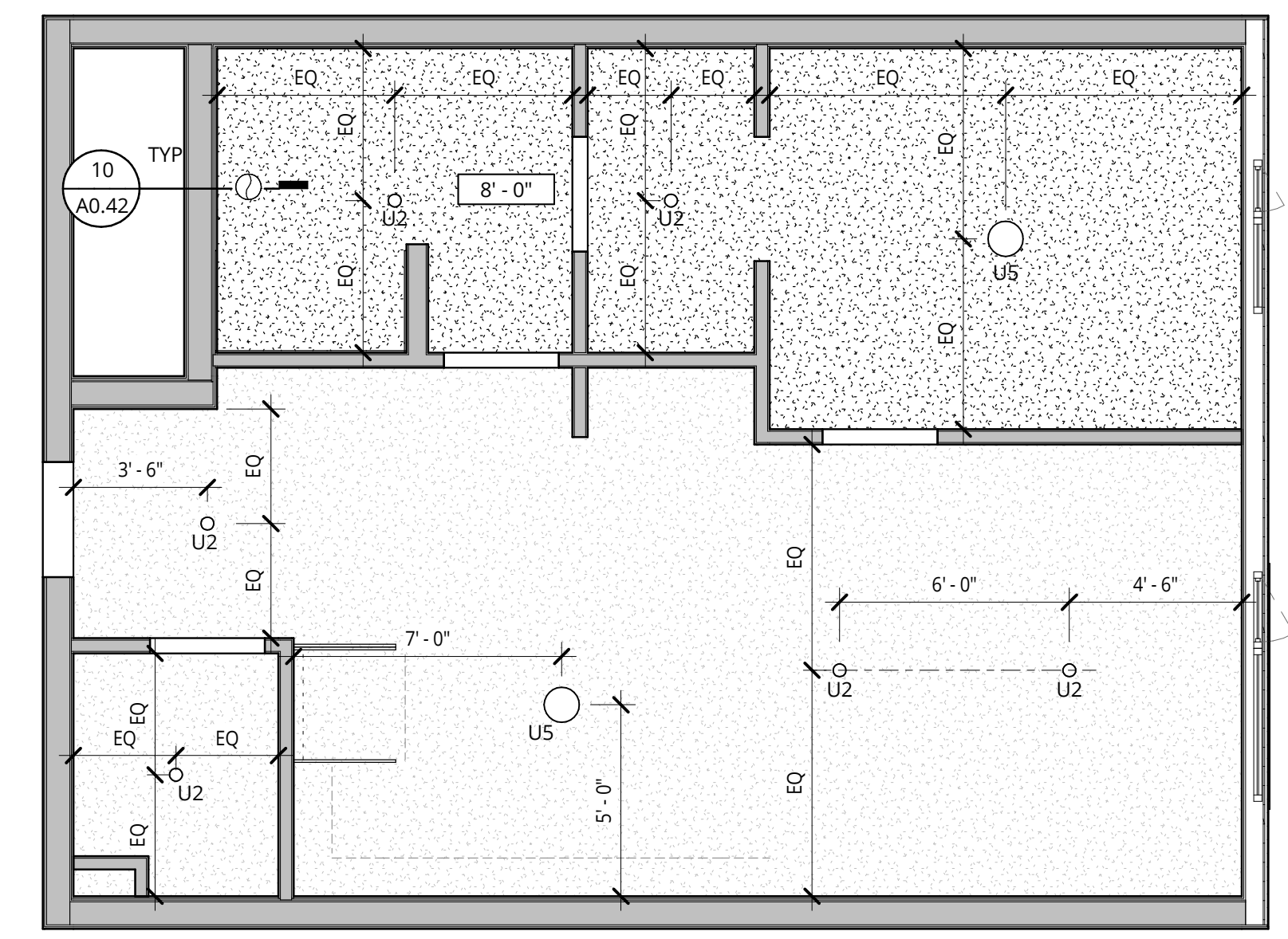
2 1 BED - 4.5
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER
BUILDING 1	
1 BR - 4.5	1-114

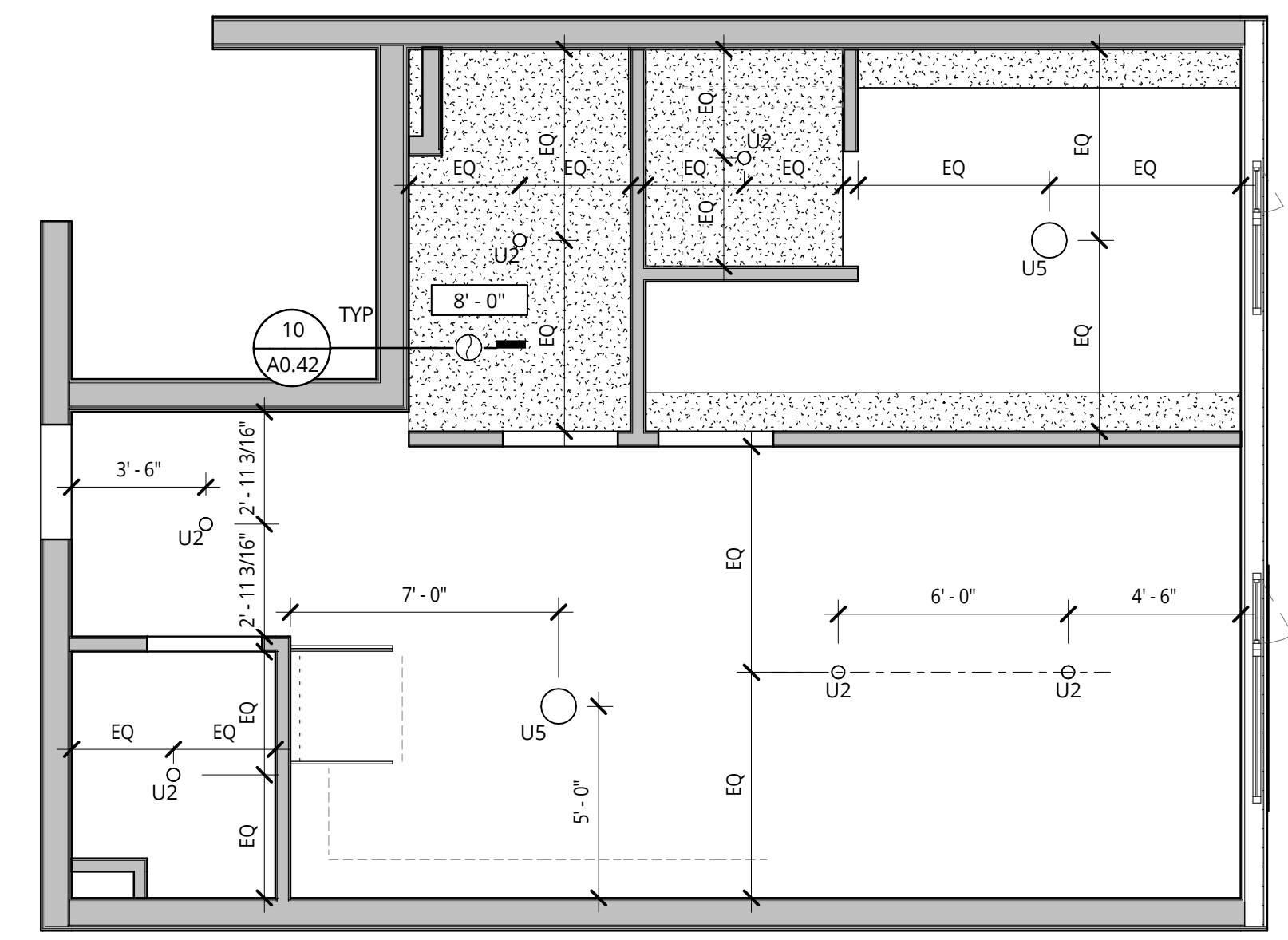
RCP LEGEND

- LIGHTING**
- LINEAR
 - PENDANT
 - U2 - LED SURFACE MOUNT LIGHT
 - US - LED SURFACE MOUNT LIGHT
 - RECESSED DOWNLIGHT
 - RECESSED WALL WASHER
 - UNDER CABINET LINEAR
 - COVE AND/OR WALL GRAZE LIGHTING
 - WALL SCONCE
 - VANITY FIXTURE
 - EXHAUST FAN

- CEILINGS**
- BOTTOM OF FLOOR ASSEMBLY GYPSUM WALLBOARD
 - DROPPED GYPSUM BOARD CEILING BELOW RATED ASSEMBLY. SEE PLANS FOR HEIGHTS.
 - WOOD PLANK CEILING TILE TYPE (WD-S)
 - VENTED SOFFIT - PAINTED FC TRIM SLATS
 - ACT-1 TECTUM FINALE PANELS - INSTALL PER MANUFACTURER INSTRUCTIONS FOR D-20 INSTALLATION METHOD
 - ACT-3 EXPANDED MESH LAY-IN CEILING
 - WOOD OR MDF PANEL APPLIED TO CEILING - SEE INTERIOR DETAILS



3 RCP - 1 BED - 4.4
1/4" = 1'-0"



4 RCP - 1 BED - 4.5
1/4" = 1'-0"

ELMONICA
SW 170TH AND W BASELINE
REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

UNIT PLANS, RCPS

LAND USE

DATE 5.25.2023	PROJECT NUMBER 215390
SHEET NUMBER	

A5.24

MEP COORDINATION NOTES

- A. ONE ERV PER RESIDENTIAL UNIT WITH RECIRCULATING VENT HOOD AND CONTINUOUS EXHAUST FROM KITCHEN TO ERV. ONE SEPARATE INTAKE AND EXHAUST LOUVER AT EXTERIOR WALL PER UNIT. NOTE THAT EXTERIOR ELEVATIONS SHOW ONE LARGER LOUVER WHICH WILL BE SPLIT IN TO TWO SMALLER ONES. ROUTING OF DUCTS, DROP CEILINGS, AND DISTANCE FROM WINDOW OPERABLE TO BE COORDINATED AFTER DD SET.
- B. PROVIDE TRANSFER FAN FOR VENTILATION AT BEDROOM AREA AT STUDIOS THAT 1.0, 1.1, 1.2

**GENERAL NOTES
REFLECTED CEILING PLANS**

1. REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ADJUST LIGHT GAUGE METAL FRAMING SIZE, GAUGE AND SPACING AT SOFFITS AND CEILINGS TO MEET MANUFACTURER'S PUBLISHED SPAN TABLES, SPECIFIED DEFLECTION CRITERIA, AND TO SUPPORT BOTH GRAVITY AND LATERAL LOADS.
3. CEILING AND SOFFIT HEIGHTS ARE MEASURED VERTICALLY FROM THE FINISHED FACE OF CEILING OR SOFFIT TO FLOOR LEVEL, UNLESS NOTED OTHERWISE.
4. LOCATE SPRINKLER HEADS, HVAC GRILLS, TRIM, SMOKE DETECTORS, DAS ANTENNAS, RECESSED LIGHT FIXTURES AND OTHER CEILING MOUNTED DEVICES IN THE CENTER OF ACOUSTICAL CEILING TILES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
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7. PROVIDE CONTROL JOINTS IN GYPSUM WALLBOARD SOFFITS AND CEILINGS AS INDICATED, OR AT MAX 30' ON CENTER EACH WAY IF NOT INDICATED.
8. REFER TO MECHANICAL DRAWINGS FOR VENTING AND DUCTING LOCATIONS.
9. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURES TYPES, LIGHTING SWITCHING LOCATIONS, LOW VOLTAGE DESIGN, AND RECEPTACLE LOCATIONS.
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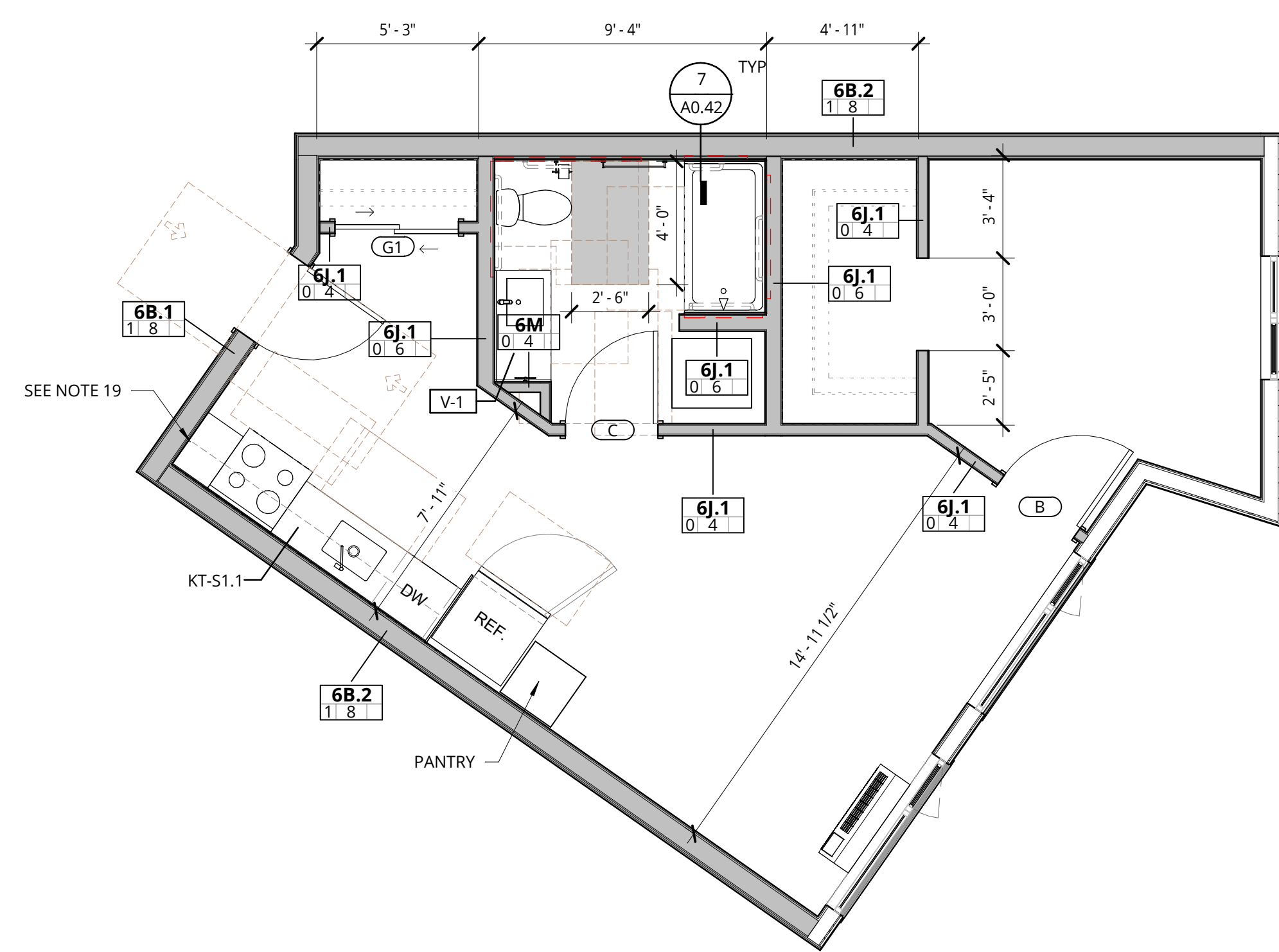
GENERAL NOTES - ENLARGED PLANS

1. REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
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3. SEE SHEETS **A0.21, A0.22** FOR WALL ASSEMBLY INFORMATION.
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 - A. BEDROOM CLOSETS: PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 36" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 72" AFF.
 - B. ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FOR ONE HALF OF THE CLOSET WIDTH AND ONE AT 36" AFF FOR THE REMAINING HALF.
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13. CONFORM TO MOUNTING HEIGHT REQUIREMENTS SHOWN ON **19/A5.01**.
14. PROVIDE CANE DETECTION IN ACCORDANCE WITH DETAIL **3/A5.01** BELOW OBJECTS WHICH PROJECT BEYOND THE LIMITS SHOWN IN DETAIL **3/A5.01**.
15. SEE VANITY ELEVATIONS ON SHEETS **A10.21**.
16. SEE VANITY ELEVATIONS ON SHEETS **A10.11, A10.12** AND **A10.12** FOR ACCESSIBLE OUTLET AND SWITCH LOCATIONS.
17. PROVIDE BLOCKING FOR WALL MOUNTED BIKE RACK.
18. PROVIDE ADDITIONAL LAYERS (S) OF COP AS REQUIRED TO ALIGN FINISHES.
19. PROVIDE OUTLET AT SIDEWALL, 6" MAX FROM THE EDGE OF THE COUNTER.

NOT FOR CONSTRUCTION

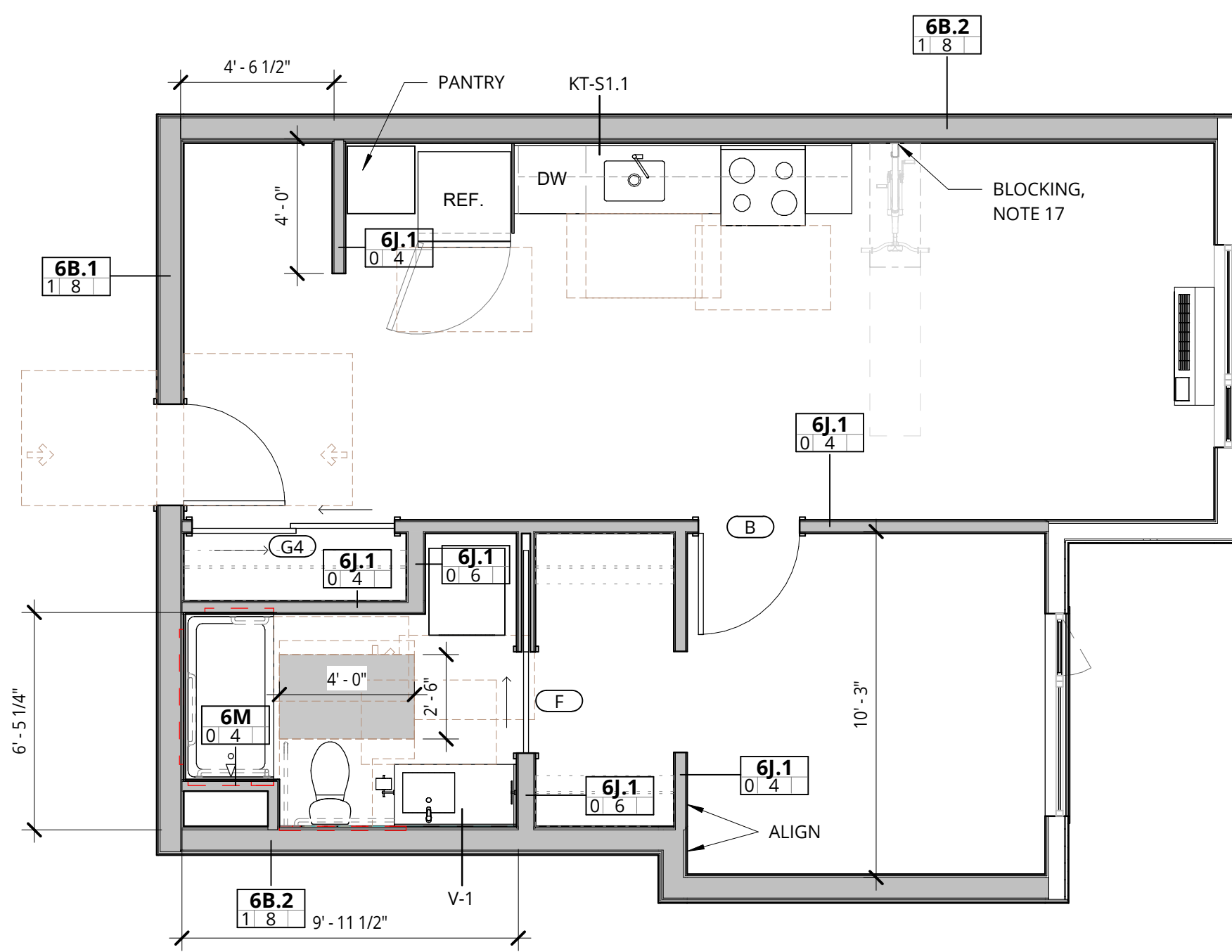


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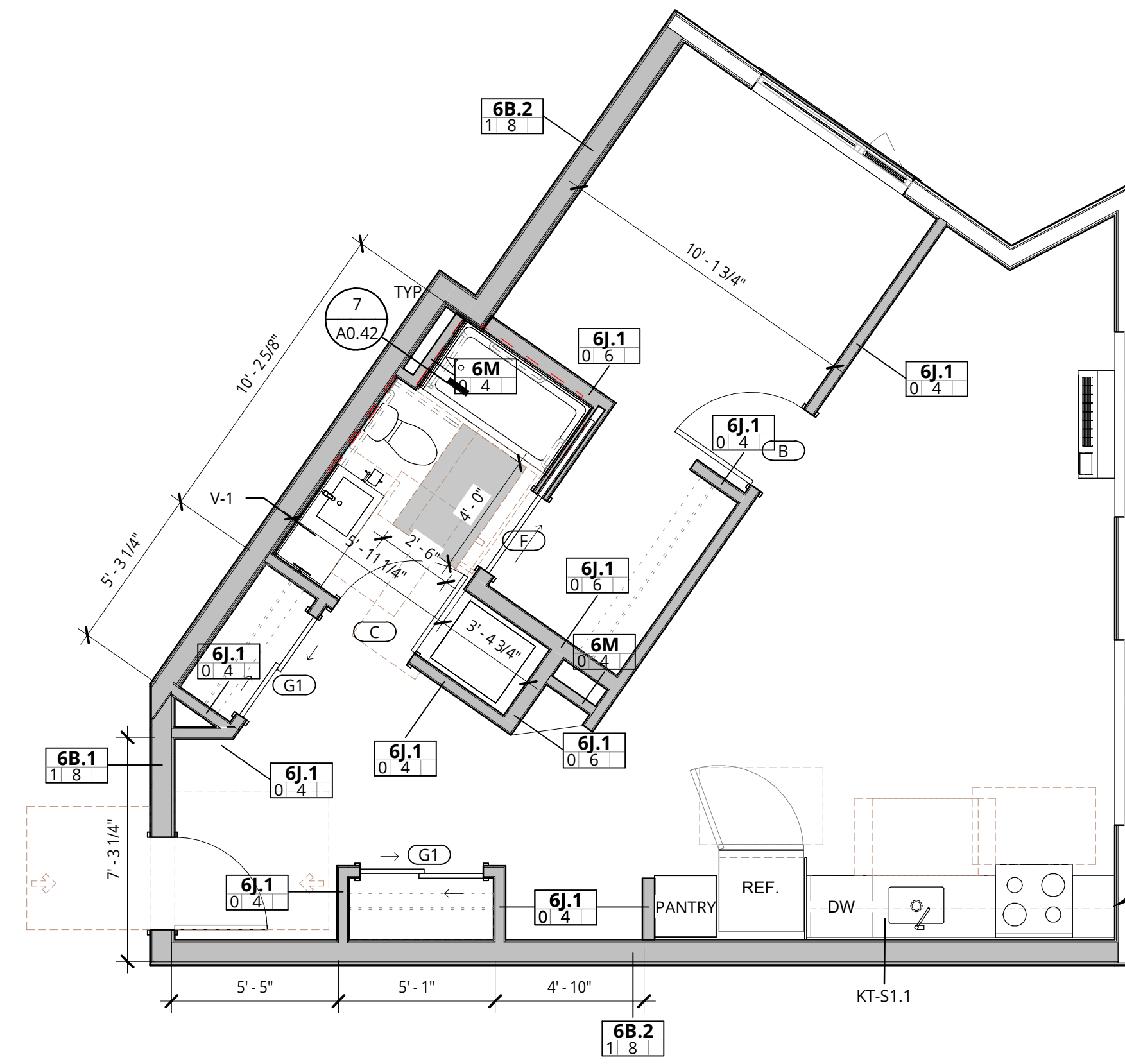
1 1 BED - 5.0
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER
BUILDING 2	
1 BR - 5.0	2-208
1 BR - 5.0	2-308
1 BR - 5.0	2-408
1 BR - 5.0	2-508



2 1 BED - 6.0
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER
BUILDING 3	
1 BR - 6.0	3-208
1 BR - 6.0	3-308
1 BR - 6.0	3-408
1 BR - 6.0	3-508



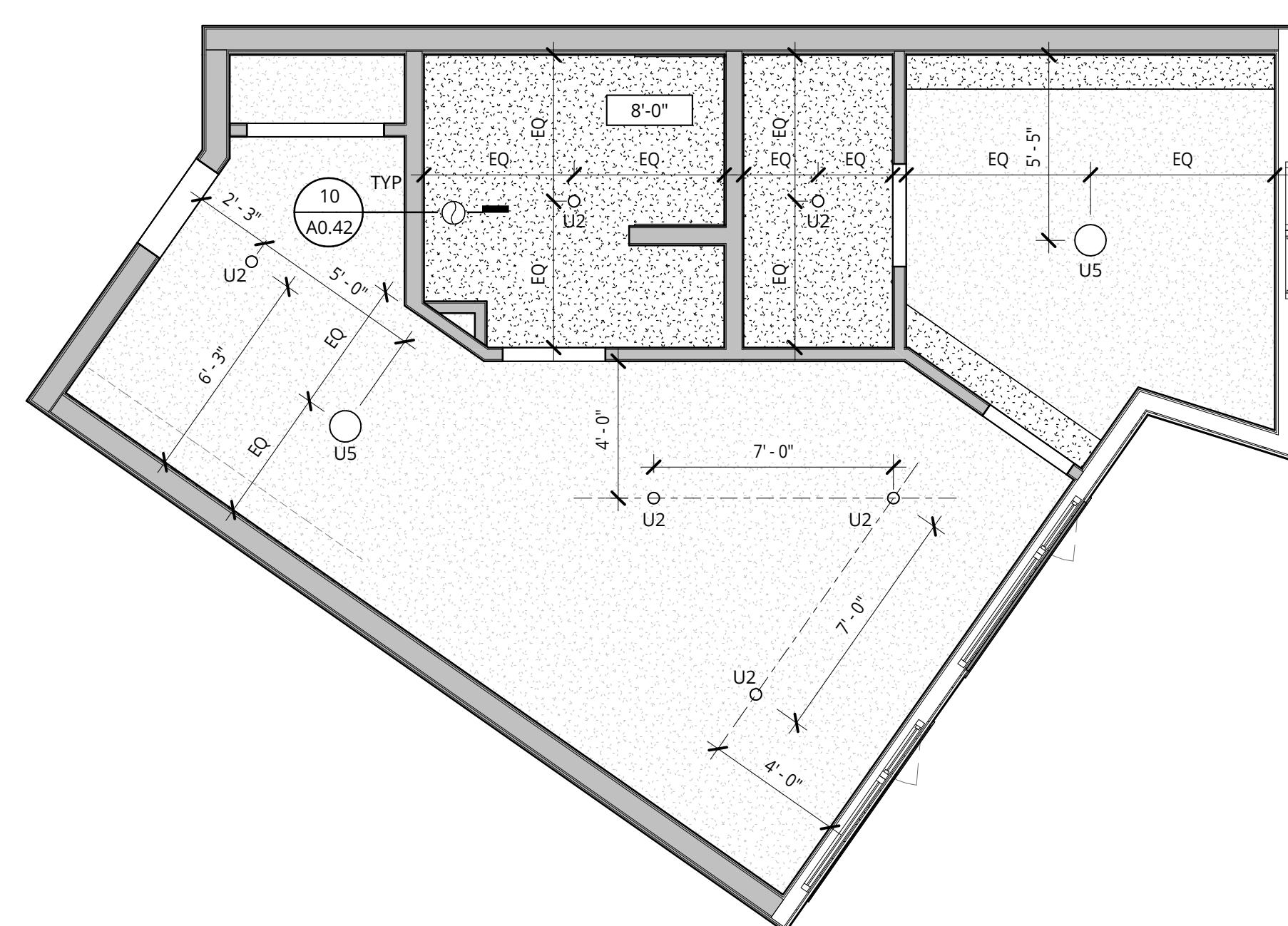
3 1 BED - 7.0
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER
BUILDING 3	
1 BR - 7.0	3-207
1 BR - 7.0	3-307
1 BR - 7.0	3-407
1 BR - 7.0	3-507

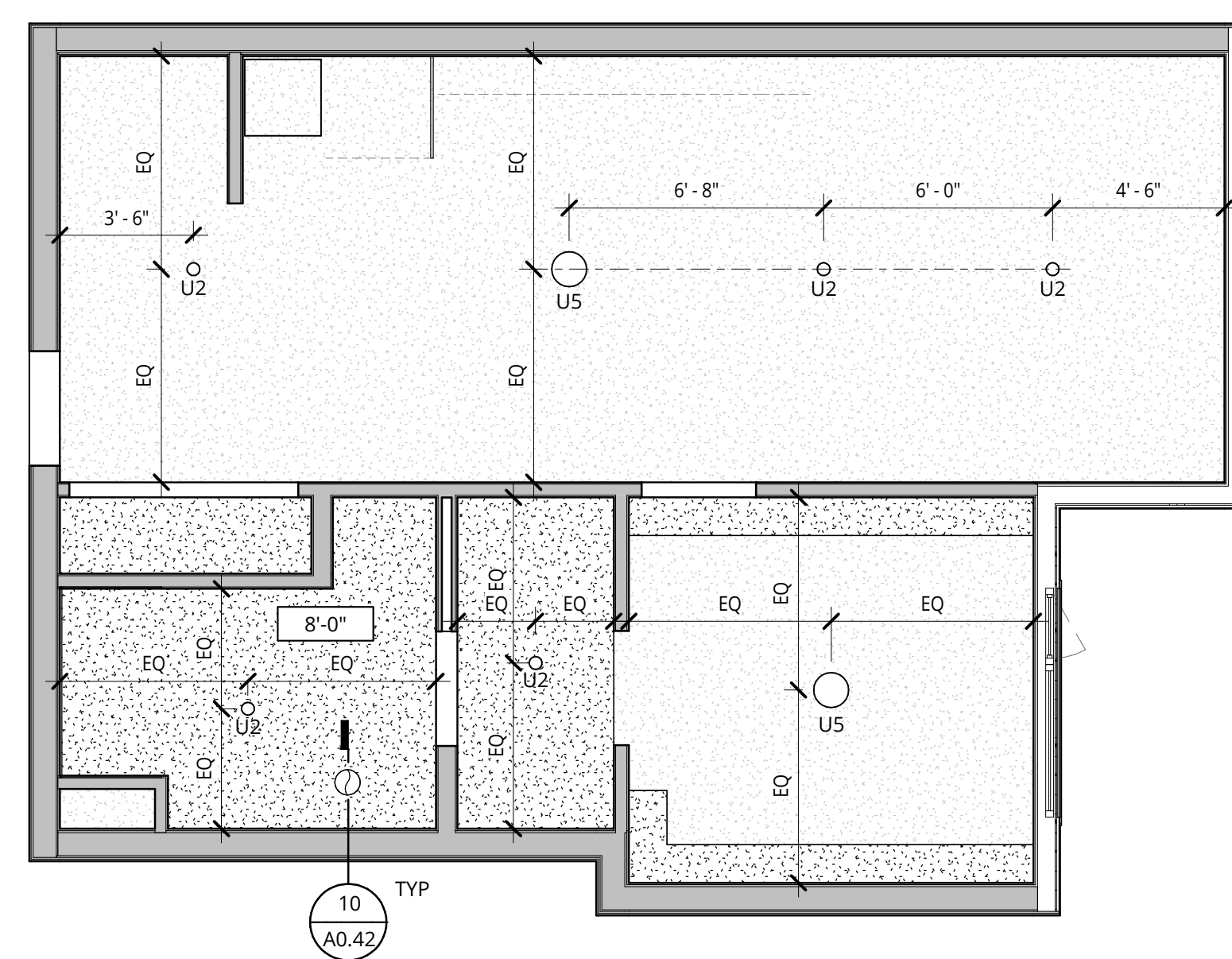
RCP LEGEND

- LIGHTING**
- LINEAR
 - PENDANT
 - U2 - LED SURFACE MOUNT LIGHT
 - U5 - LED SURFACE MOUNT LIGHT
 - RECESSED DOWNLIGHT
 - RECESSED WALL WASHER
 - UNDER CABINET LINEAR
 - COVE AND/OR WALL GRAZE LIGHTING
 - WALL SCONCE
 - VANITY FIXTURE
 - EXHAUST FAN

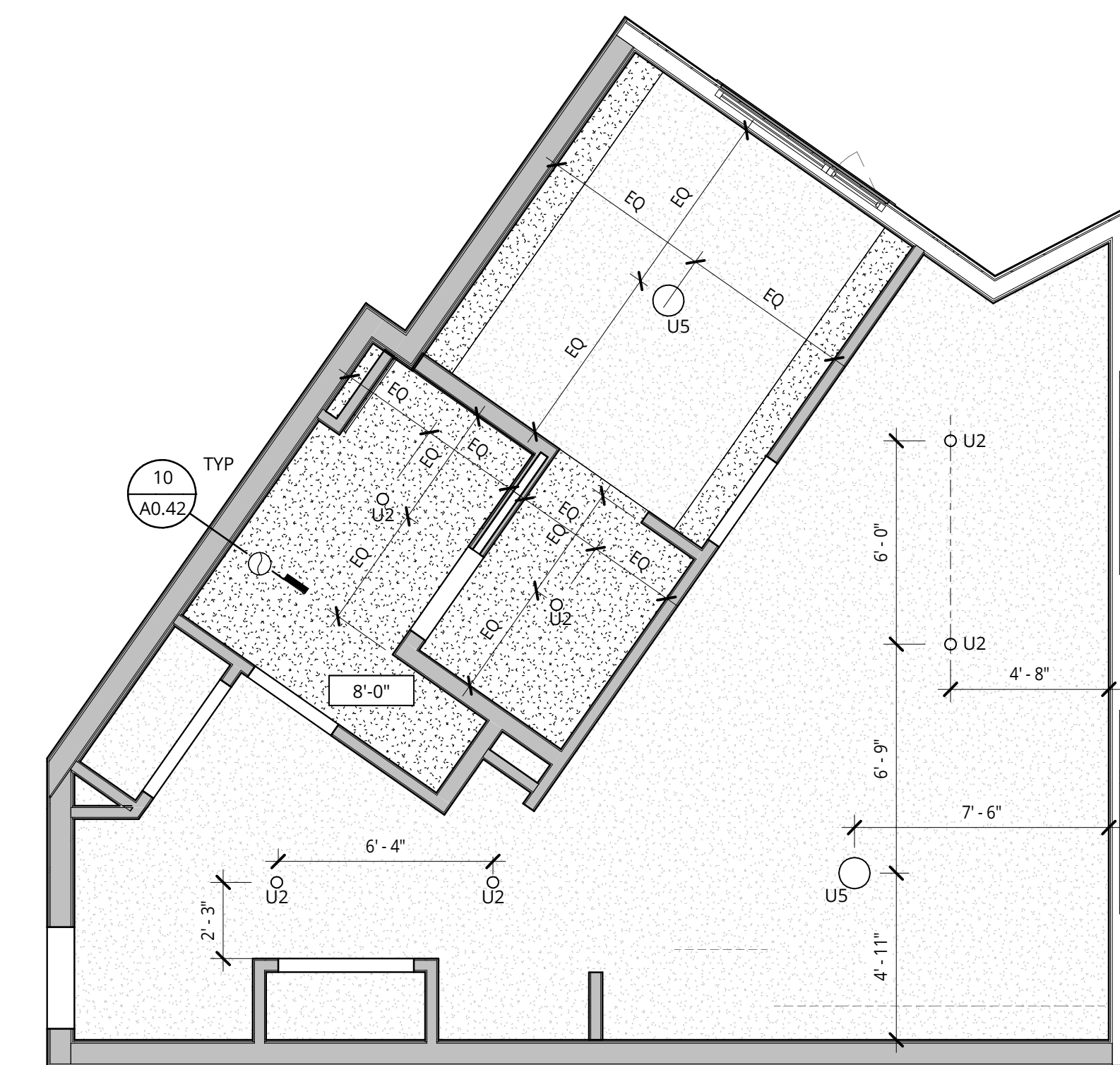
- CEILINGS**
- BOTTOM OF FLOOR ASSEMBLY GYPSUM WALLBOARD
 - DROPPED GYPSUM BOARD CEILING BELOW RATED ASSEMBLY. SEE PLANS FOR HEIGHTS.
 - WOOD PLANK CEILING TILE TYPE (WD-S)
 - VENTED SOFFIT - PAINTED FC TRIM SLATS
 - ACT-1 TECTUM FINALE PANELS - INSTALL PER MANUFACTURER INSTRUCTIONS FOR D-20 INSTALLATION METHOD
 - ACT-2 EXPANDED MESH LAY-IN CEILING
 - WOOD OR MDF PANEL APPLIED TO CEILING - SEE INTERIOR DETAILS



4 RCP - 1 BED - 5.0
1/4" = 1'-0"



5 RCP - 1 BED - 6.0
1/4" = 1'-0"



6 RCP - 1 BED - 7.0
1/4" = 1'-0"

ELMONICA
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

UNIT PLANS, RCPS

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A5.25

MEP COORDINATION NOTES

- A. ONE ERV PER RESIDENTIAL UNIT WITH RECIRCULATING VENT HOOD AND CONTINUOUS EXHAUST FROM KITCHEN TO ERV. ONE SEPARATE INTAKE AND EXHAUST LOUVER AT EXTERIOR WALL PER UNIT. NOTE THAT EXTERIOR ELEVATIONS SHOW ONE LARGER LOUVER WHICH WILL BE SPLIT IN TO TWO SMALLER ONES. ROUTING OF DUCTS, DROP CEILINGS, AND DISTANCE FROM WINDOW OPERABLE TO BE COORDINATED AFTER DD SET.
- B. PROVIDE TRANSFER FAN FOR VENTILATION AT BEDROOM AREA AT STUDIOS THAT 1.0, 1.1, 1.2

**GENERAL NOTES
REFLECTED CEILING PLANS**

- 1. REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- 2. SEE SHEETS BEGINNING ON A5.01 FOR TYPICAL ACCESSIBILITY CLEARANCES.
- 3. SEE SHEETS **A0.21, A0.22, A0.23** FOR WALL ASSEMBLY INFORMATION.
- 4. PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING A5.01.
- 5. DWELLING UNITS ARE TYPE 'B' UNLESS NOTED OTHERWISE. PROVIDE REINFORCEMENT IN WALLS FOR FUTURE GRAB BAR INSTALLATION AT ALL WATER CLOSETS AND BATH/TUB/SHOWERS IN ALL RESIDENTIAL UNITS. SEE SHEETS **A5.05** AND **A5.06**.
- 6. TYPE A UNIT CLOSETS:
 - A. BEDROOM CLOSETS: PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 36" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 72" AFF.
 - B. ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FOR ONE HALF OF THE CLOSET WIDTH AND ONE AT 36" AFF FOR THE REMAINING HALF.
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- 8. REFER TO MECHANICAL DRAWINGS FOR VENTING AND DUCTING LOCATIONS.
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- 10. FIRE STOP ALL PENETRATIONS THROUGH RATED WALLS AND CEILINGS. PROVIDE FIRE DAMPERS AND/OR FIRE SMOKE DAMPERS AT OPENINGS. REFER TO MECHANICAL DRAWINGS.
- 11. PROVIDE ACCESS PANELS (PRE RATED WHERE REQUIRED) AT ALL NECESSARY LOCATIONS.
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- 13. PROVIDE SEISMIC JOINTS IN ALL CEILINGS AS REQUIRED BY THE MOST STRINGENT APPLICABLE CODE WHETHER INDICATED ON THE DRAWINGS OR NOT. FOR LOCATIONS NOT SHOWN, REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
- 14. TYPICAL GYPSUM WALLBOARD ON CEILINGS IS 5/8" THICK UNLESS NOTED OTHERWISE.
- 15. REFER TO INDIVIDUAL ENLARGED UNIT PLANS FOR CEILING INFORMATION WITHIN RESIDENTIAL UNITS.
- 16. DECORATIVE LIGHTING WITH TAGS IS FOR AMENITY AREAS. REFER TO A5 SERIES FOR GENERAL AND BACK OF HOUSE LIGHTING.
- 17. REFER TO ROOM FINISH SCHEDULE FOR ROLLERSHADE LOCATIONS. ALL EXTERIOR WINDOWS WITHIN THAT ROOM ARE TO RECEIVE A ROLLERSHADE, U.N.O.

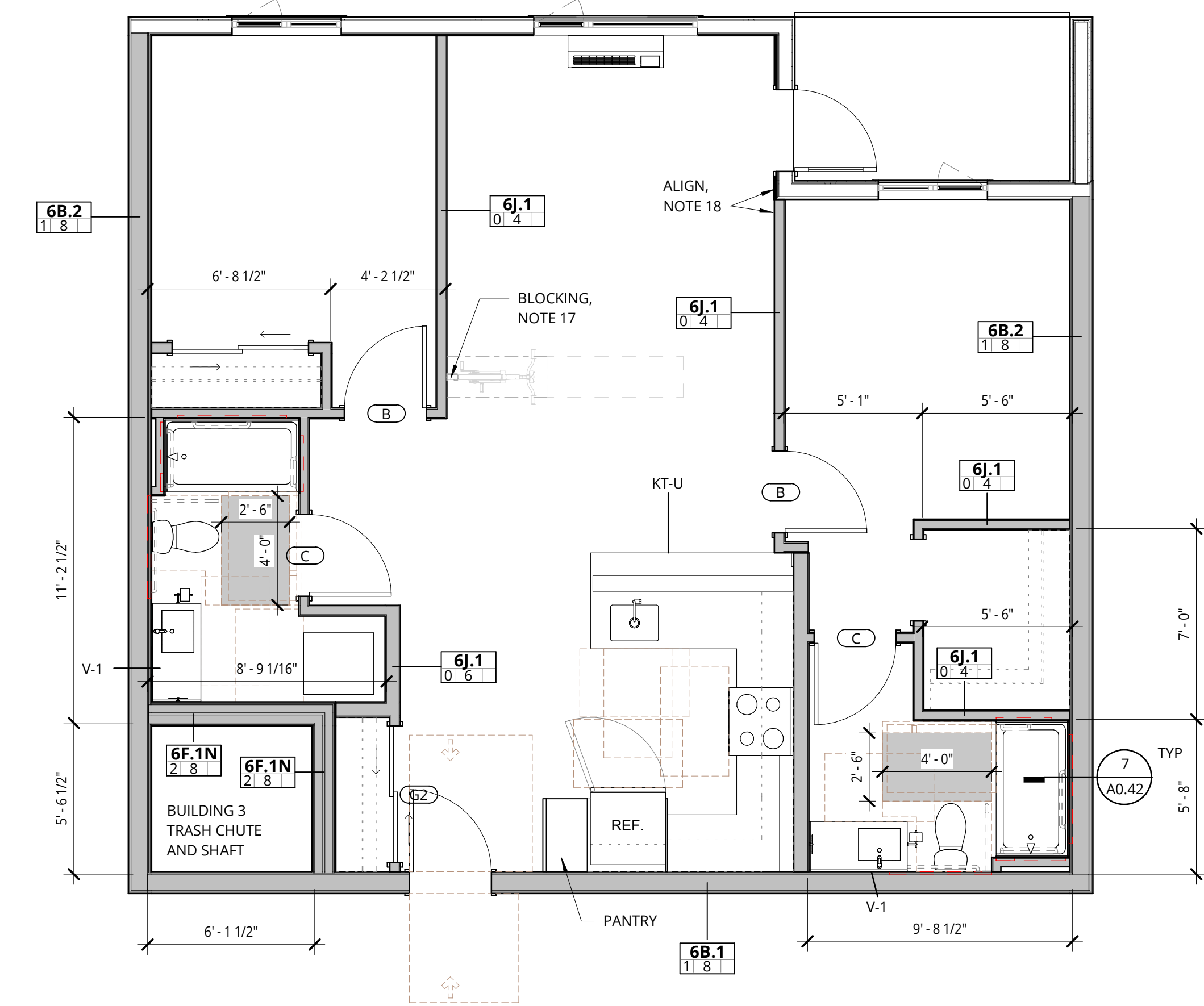
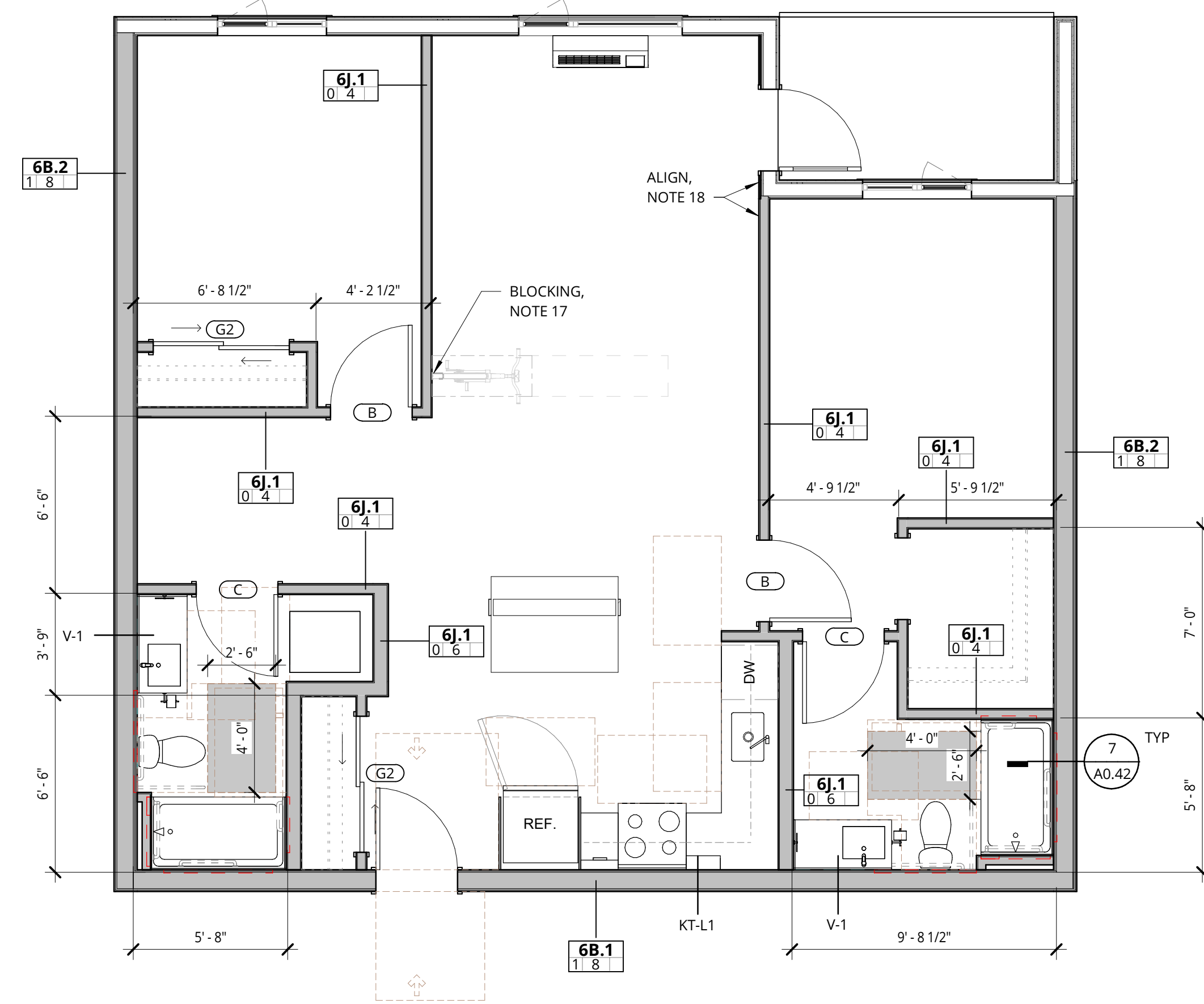
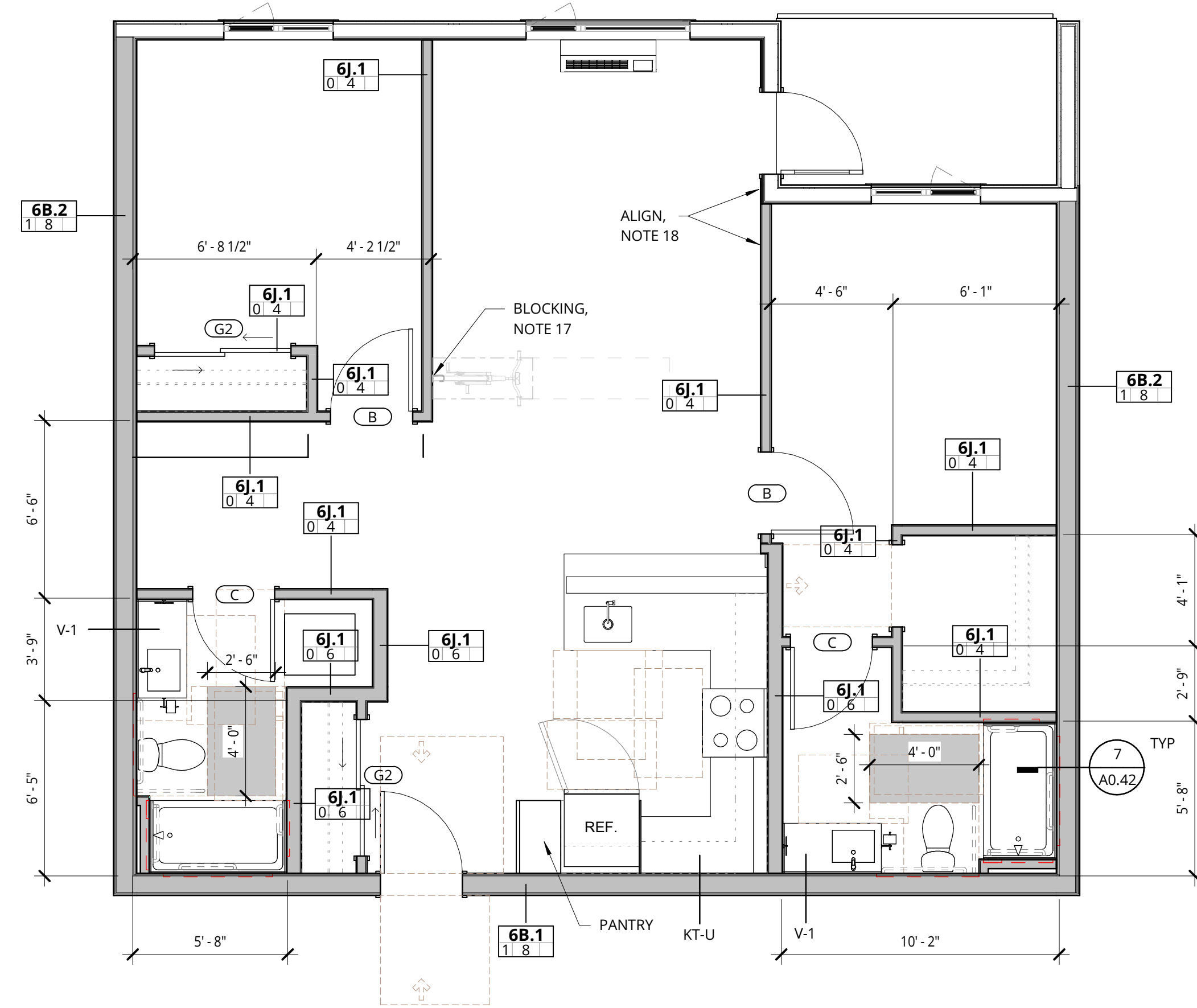
GENERAL NOTES - ENLARGED PLANS

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NOT FOR CONSTRUCTION



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RCP LEGEND

- LIGHTING**
- LINEAR
 - PENDANT
 - U2 - LED SURFACE MOUNT LIGHT
 - U5 - LED SURFACE MOUNT LIGHT
 - RECESSED DOWNLIGHT
 - RECESSED WALL WASHER
 - UNDER CABINET LINEAR
 - COVE AND/OR WALL GRAZE LIGHTING
 - WALL SCONCE
 - VANITY FIXTURE
 - EXHAUST FAN

- CEILINGS**
- BOTTOM OF FLOOR ASSEMBLY GYPSUM WALLBOARD
 - DROPPED GYPSUM BOARD CEILING BELOW RATED ASSEMBLY. SEE PLANS FOR HEIGHTS.
 - WOOD PLANK CEILING TILE TYPE (WD-5)
 - VENTED SOFFIT - PAINTED FC TRIM SLATS
 - ACT-1 TECTUM FINALE PANELS - INSTALL PER MANUFACTURER INSTRUCTIONS FOR D-20 INSTALLATION METHOD
 - ACT-2 EXPANDED MESH LAY-IN CEILING
 - WOOD OR MDF PANEL APPLIED TO CEILING - SEE INTERIOR DETAILS

1 2 BED - 2.0
1/4" = 1'-0"

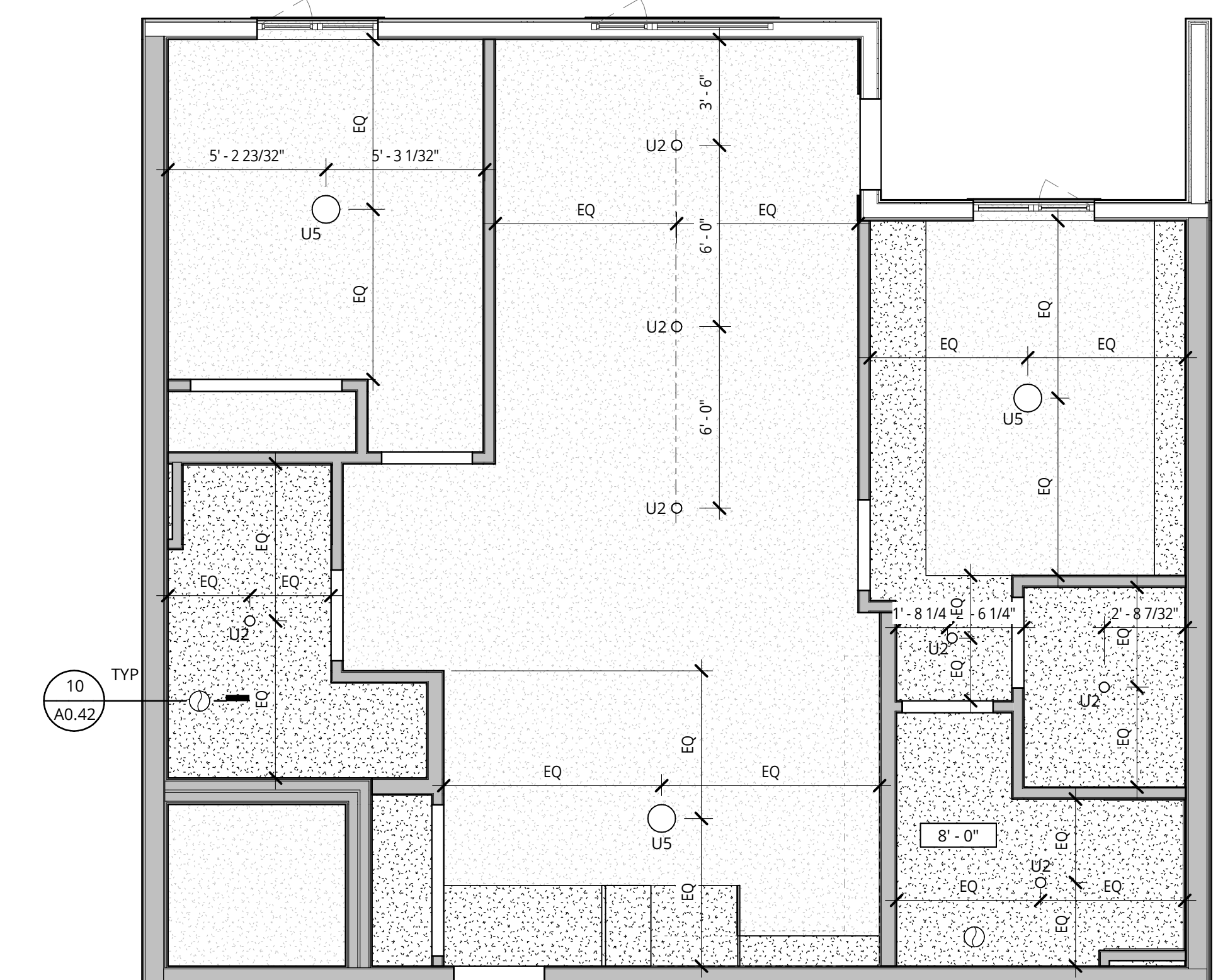
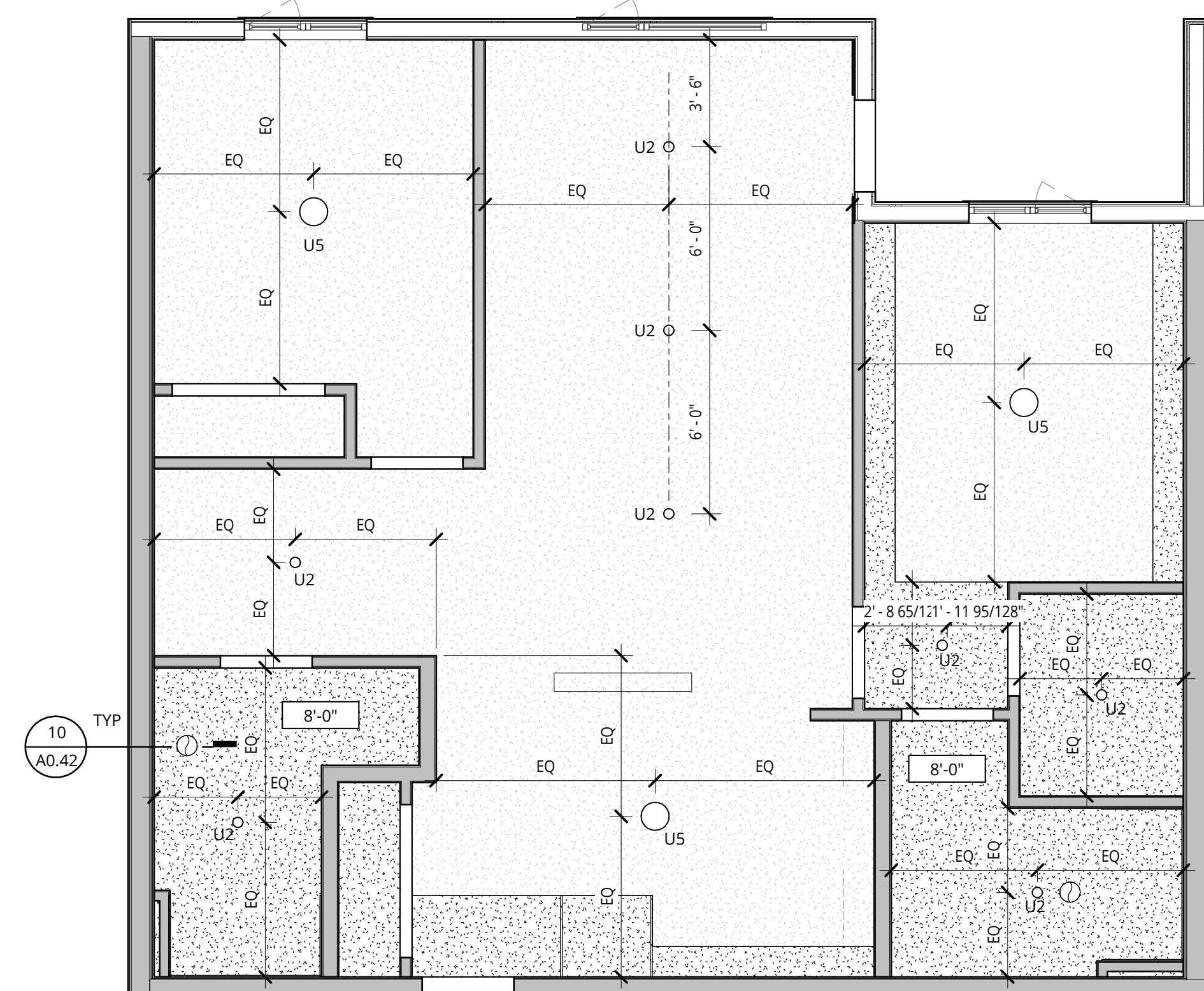
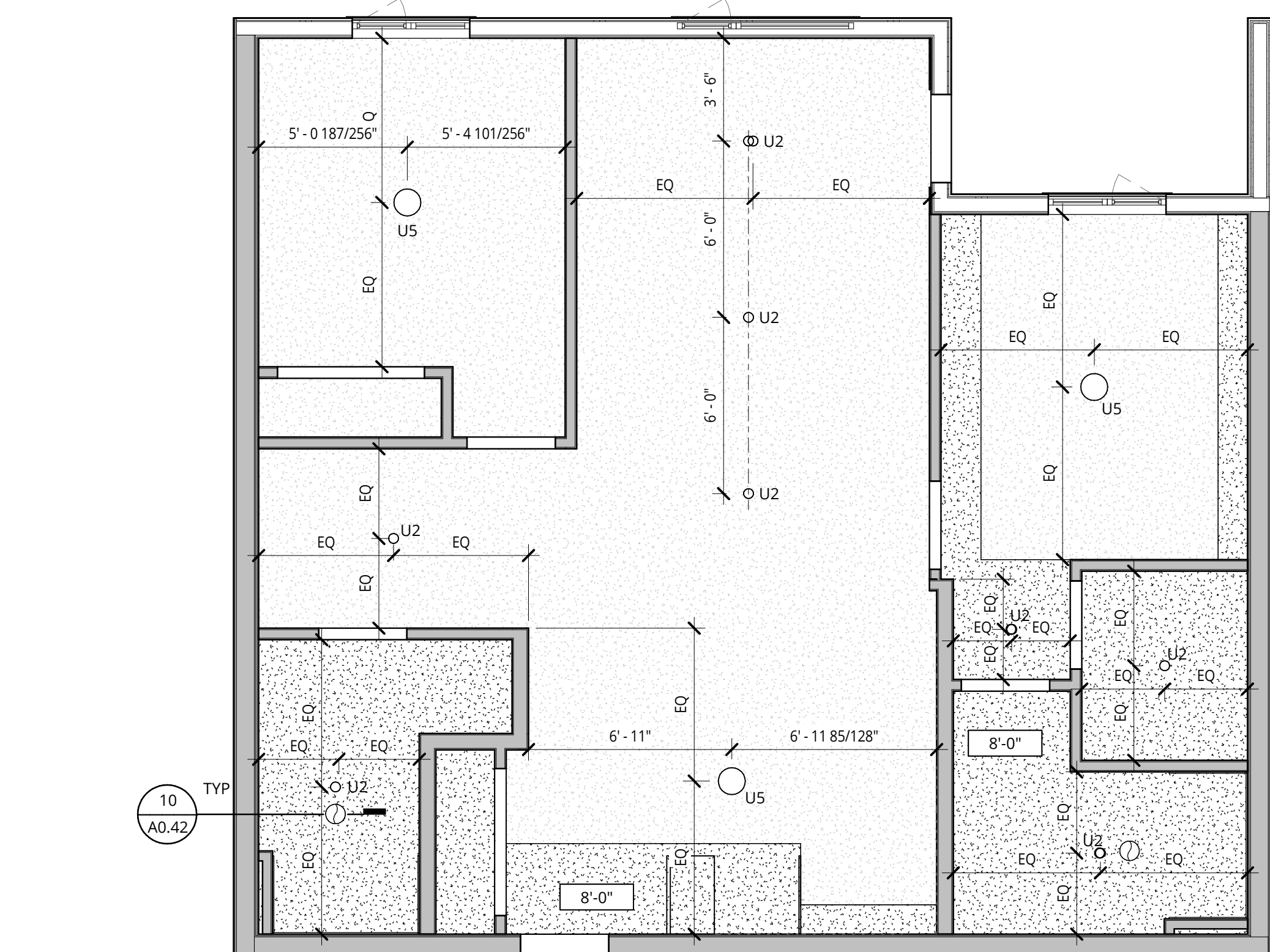
UNIT NAME	UNIT NUMBER	UNIT NAME	UNIT NUMBER	UNIT NAME	UNIT NUMBER
BUILDING 1		BUILDING 2		BUILDING 3	
2 BR - 2.0	1-208	2 BR - 2.0	2-304	2 BR - 2.0	3-216
2 BR - 2.0	1-408	2 BR - 2.0	2-204	2 BR - 2.0	3-316
2 BR - 2.0	1-508	2 BR - 2.0	2-104	2 BR - 2.0	3-416
2 BR - 2.0	1-108	2 BR - 2.0	2-404	2 BR - 2.0	3-516
2 BR - 2.0	1-308	2 BR - 2.0	2-504	2 BR - 2.0	3-116

2 2 BED - 2.1 - W/ ISLAND
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER	UNIT NAME	UNIT NUMBER
BUILDING 1		BUILDING 2	
2 BR - 2.1	1-210	2 BR - 2.1	2-309
2 BR - 2.1	1-410	2 BR - 2.1	2-209
2 BR - 2.1	1-510	2 BR - 2.1	2-206
2 BR - 2.1	1-110	2 BR - 2.1	2-409
2 BR - 2.1	1-310	2 BR - 2.1	2-509
		2 BR - 2.1	2-506

7 2 BED - 2.3
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER
BUILDING 3	
2 BR - 2.3	3-212
2 BR - 2.3	3-312
2 BR - 2.3	3-412
2 BR - 2.3	3-512



4 RCP - 2 BED - 2.0
1/4" = 1'-0"

5 RCP - 2 BED - 2.1 - W/ ISLAND
1/4" = 1'-0"

8 RCP - 2 BR - 2.3
1/4" = 1'-0"

ELMONICA
SW 170TH AND W BASELINE
REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

UNIT PLANS, RCPS

LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

A5.26

MEP COORDINATION NOTES

- A. ONE ERV PER RESIDENTIAL UNIT WITH RECIRCULATING VENT HOOD AND CONTINUOUS EXHAUST FROM KITCHEN TO ERV. ONE SEPARATE INTAKE AND EXHAUST LOUVER AT EXTERIOR WALL PER UNIT. NOTE THAT EXTERIOR ELEVATIONS SHOW ONE LARGER LOUVER WHICH WILL BE SPLIT IN TO TWO SMALLER ONES. ROUTING OF DUCTS, DROP CEILINGS, AND DISTANCE FROM WINDOW OPERABLE TO BE COORDINATED AFTER DD SET.
- B. PROVIDE TRANSFER FAN FOR VENTILATION AT BEDROOM AREA AT STUDIOS THAT 1.0, 1.1, 1.2.

**GENERAL NOTES
REFLECTED CEILING PLANS**

1. REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ADJUST LIGHT GAUGE METAL, FRAMING SIZE, GAUGE AND SPACING AT SOFFITS AND CEILINGS TO MEET MANUFACTURERS PUBLISHED SPAN TABLES, SPECIFIED DEFLECTION CRITERIA, AND TO SUPPORT BOTH GRAVITY AND LATERAL LOADS.
3. CEILING AND SOFFIT HEIGHTS ARE MEASURED VERTICALLY FROM THE FINISHED FACE OF CEILING OR SOFFIT TO FLOOR LEVEL, UNLESS NOTED OTHERWISE.
4. LOCATE SPRINKLER HEADS, HVAC GRILLS, TRIM, SMOKE DETECTORS, DAS ANTENNAS, RECESSED LIGHT FIXTURES AND OTHER CEILING MOUNTED DEVICES IN THE CENTER OF ACOUSTICAL CEILING TILES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
5. ALIGN HVAC GRILLS, DIFFUSERS AND OTHER TRIM WITH SPRINKLER HEADS, SMOKE DETECTORS, SPEAKERS AND OTHER CEILING MOUNTED DEVICES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
6. CENTER LUMINAIRES (OR GROUPS OF LUMINAIRES) WITHIN THE ROOM OR SPACE, AND CENTER FIXTURES WITHIN CEILING TILE PANELS, UNLESS DIMENSIONED OTHERWISE.
7. PROVIDE CONTROL JOINTS IN GYPSUM WALLBOARD SOFFITS AND CEILINGS AS INDICATED, OR AT MAX 30' ON CENTER EACH WAY IF NOT INDICATED.
8. REFER TO MECHANICAL DRAWINGS FOR VENTING AND DUCTING LOCATIONS.
9. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURES TYPES, LIGHTING SWITCHING LOCATIONS, LOW VOLTAGE DESIGN, AND RECEPTACLE LOCATIONS.
10. FIRE STOP ALL PENETRATIONS THROUGH RATED WALLS AND CEILINGS. PROVIDE FIRE DAMPERS AND/OR FIRE SMOKE DAMPERS AT OPENINGS. REFER TO MECHANICAL DRAWINGS.
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13. PROVIDE SEISMIC JOINTS IN ALL CEILINGS AS REQUIRED BY THE MOST STRINGENT APPLICABLE CODE WHETHER INDICATED ON THE DRAWINGS OR NOT. FOR LOCATIONS NOT SHOWN, REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
14. TYPICAL GYPSUM WALLBOARD ON CEILINGS IS 5/8 INCH UNLESS NOTED OTHERWISE.
15. REFER TO INDIVIDUAL ENLARGED UNIT PLANS FOR CEILING INFORMATION WITHIN RESIDENTIAL UNITS.
16. DECORATIVE LIGHTING WITH TAGS IS FOR AMENITY AREAS. REFER TO AS SERIES FOR GENERAL AND BACK OF HOUSE LIGHTING.
17. REFER TO ROOM FINISH SCHEDULE FOR ROLLERSHADE LOCATIONS. ALL EXTERIOR WINDOWS WITHIN THAT ROOM ARE TO RECEIVE A ROLLERSHADE, U.N.O.

GENERAL NOTES - ENLARGED PLANS

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 - B. TYPE B UNIT ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FULL WIDTH.
9. ALIGN CENTER OF CLOSET DOORS WITH THE CENTER OF CLOSET IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.
10. ALL REACH-IN RESIDENTIAL CLOSETS ARE 24" DEEP INSIDE CLEAR (FACE OF WALL TO FACE OF WALL) UNLESS NOTED OTHERWISE.
11. WING WALLS ADJACENT TO CASEWORK ARE 2'-2" LONG, UNLESS NOTED OTHERWISE.
12. WING WALLS OR FURRING WALLS ADJACENT TO BATHTUBS OR SHOWERS EXTEND A MAXIMUM OF 1'-1/2" BEYOND FACE OF SHIRT OR CLUB, UNLESS NOTED OTHERWISE SUCH THAT TOTAL OVERLAP INTO A ACCESSIBILITY CLEARANCE (INCLUDING BASE) IS 2" OR LESS.
13. CONFORM TO MOUNTING HEIGHT REQUIREMENTS SHOWN ON **19/A5.01**.
14. PROVIDE CANE DETECTION IN ACCORDANCE WITH DETAIL **3/A5.01** BELOW OBJECTS WHICH PROJECT BEYOND THE LIMITS SHOWN IN DETAIL **3/A5.01**.
15. SEE VANITY ELEVATIONS ON SHEETS **A10.21**.
16. PROVIDE CANE DETECTION IN ACCORDANCE WITH DETAIL **3/A5.01** BELOW OBJECTS WHICH PROJECT BEYOND THE LIMITS SHOWN IN DETAIL **3/A5.01**.
17. PROVIDE BLOCKING FOR WALL MOUNTED BIKE RACK.
18. PROVIDE ADDITIONAL LAYERS (S) OF GIP AS REQUIRED TO ALIGN FINISHES.
19. PROVIDE OUTLET AT SIDEWALL, 6" MAX FROM THE EDGE OF THE COUNTER.

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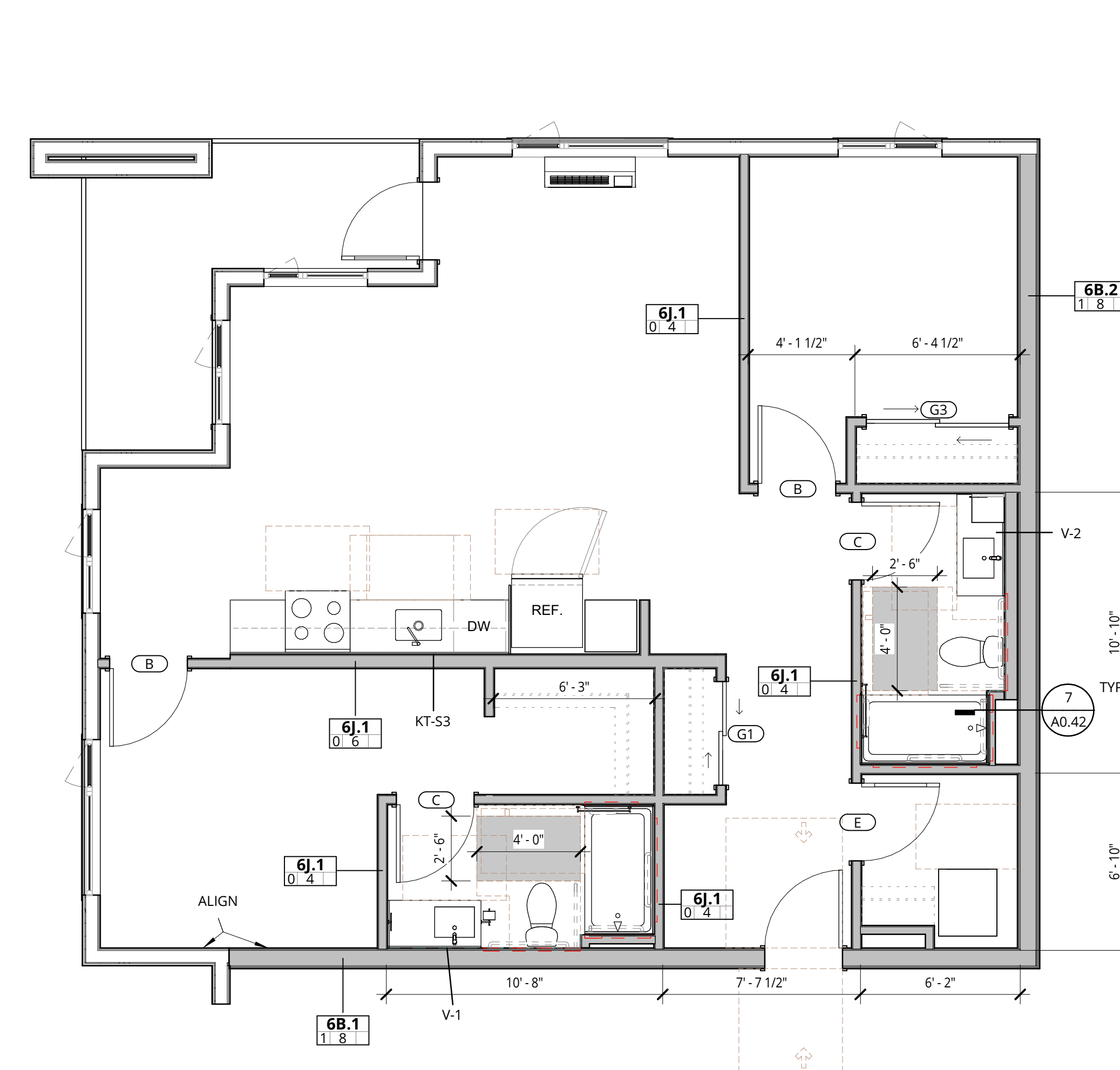
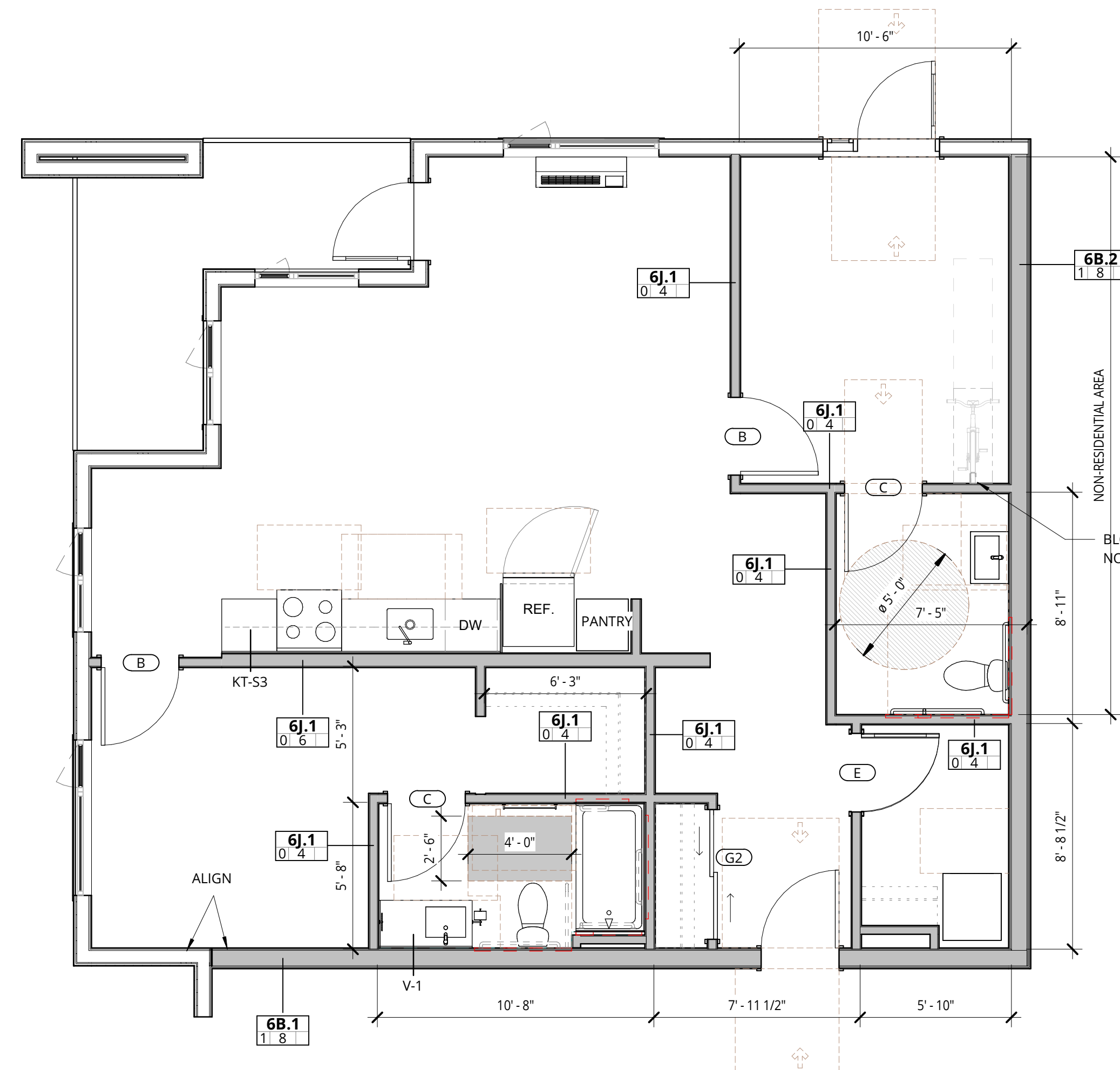
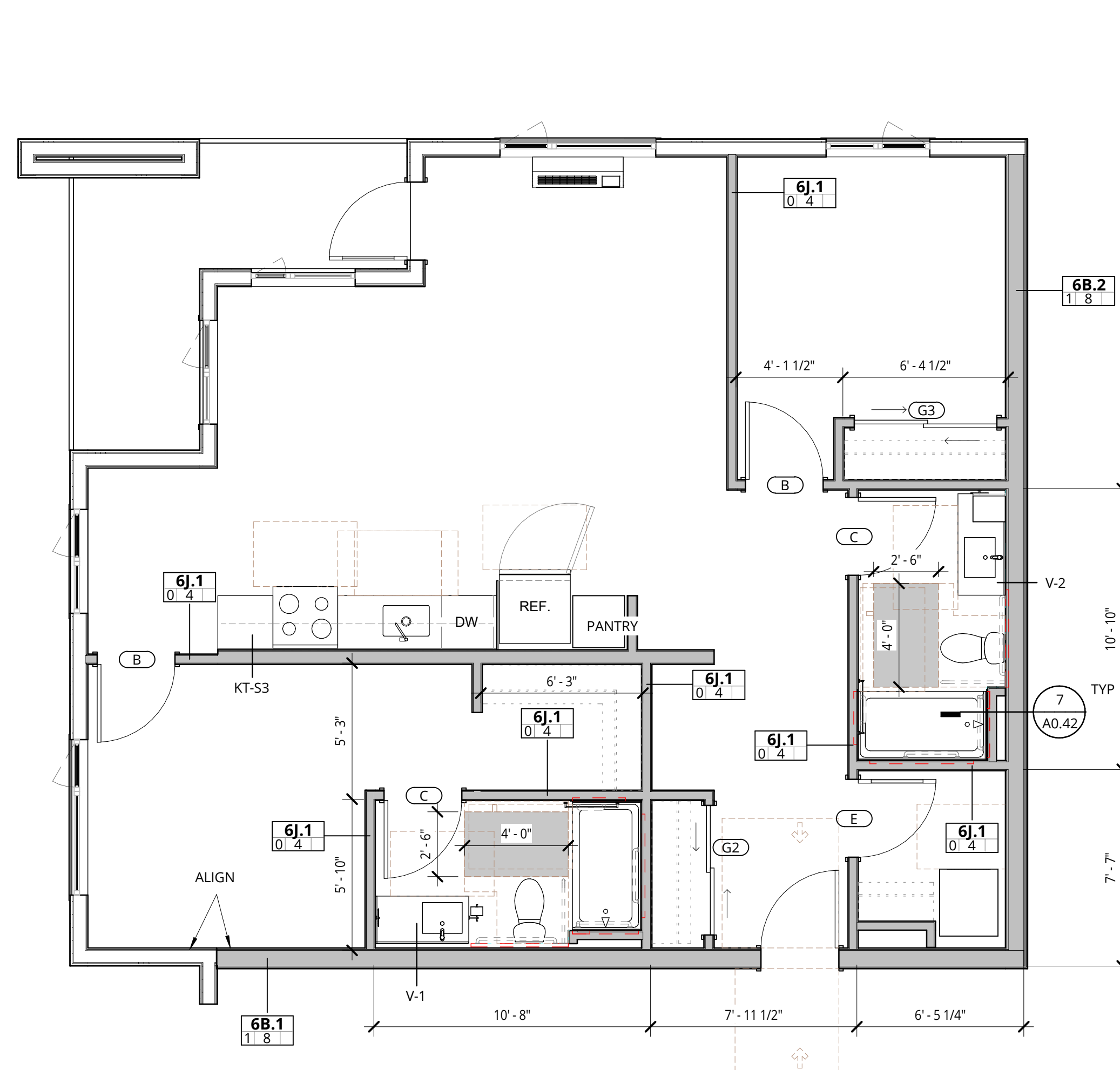


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1 2 BED - 3.0
1/4" = 1'-0"

BUILDING 1	UNIT NAME	UNIT NUMBER	BUILDING 2	UNIT NAME	UNIT NUMBER	BUILDING 3	UNIT NAME	UNIT NUMBER
2 BR - 3.0	1-201	2 BR - 3.0	2-318	2 BR - 3.0	3-318			
2 BR - 3.0	1-401	2 BR - 3.0	2-418	2 BR - 3.0	3-418			
2 BR - 3.0	1-501	2 BR - 3.0	2-418	2 BR - 3.0	3-418			
2 BR - 3.0	1-301	2 BR - 3.0	2-518	2 BR - 3.0	3-518			
2 BR - 3.0	1-101	2 BR - 3.0	3-318	2 BR - 3.0	3-118			

5 LIVE WORK UNIT - 3.1
1/4" = 1'-0"

BUILDING 1	UNIT NAME	UNIT NUMBER
2 BR - 3.0	2-118	

THE NONRESIDENTIAL AREA IS PERMITTED TO BE NOT MORE THAN 50 PERCENT OF THE AREA OF EACH LIVE/WORK UNIT. (OSCC 419.1.12)

7 2 BED - 3.2
1/4" = 1'-0"

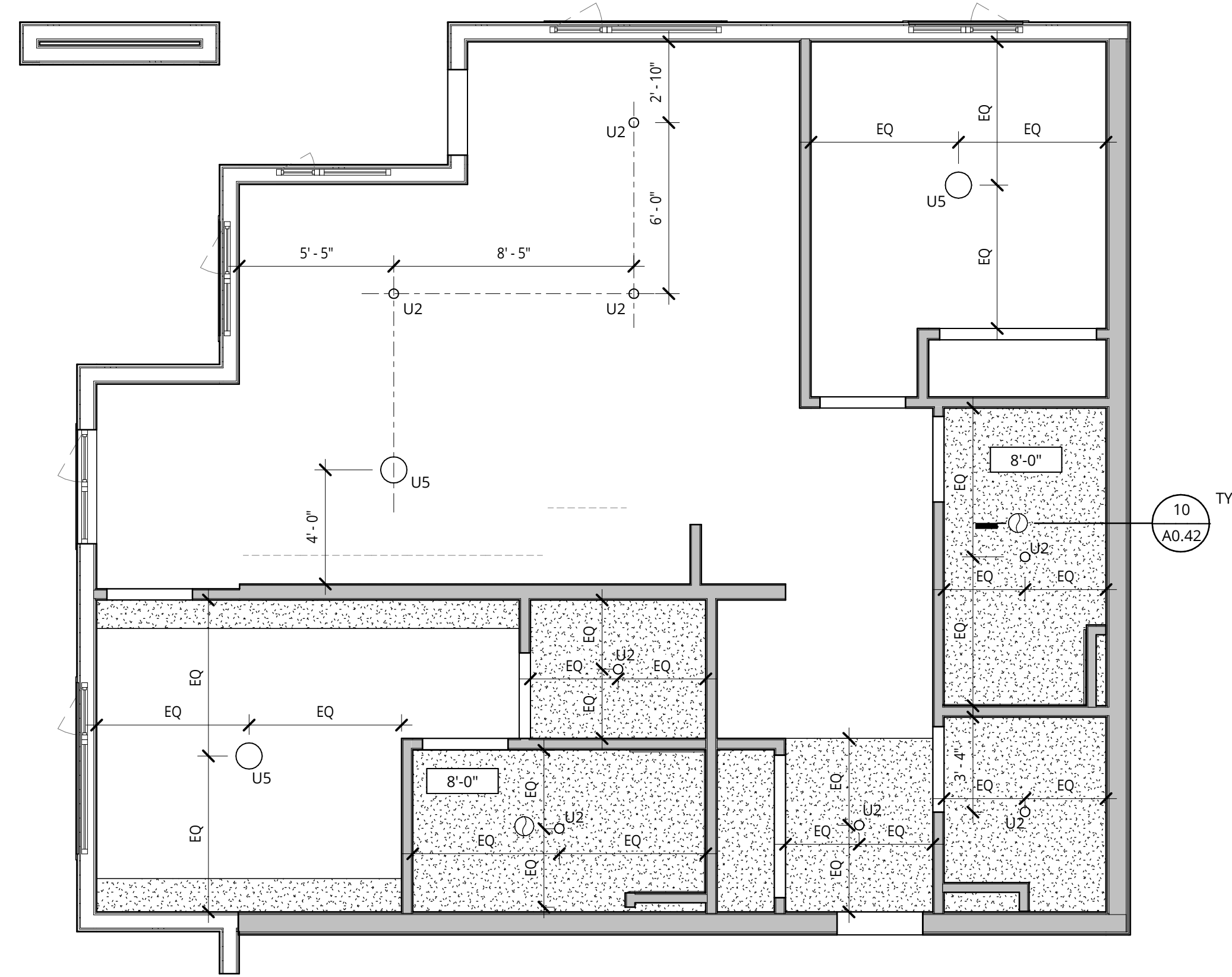
BUILDING 1	UNIT NAME	UNIT NUMBER	BUILDING 2	UNIT NAME	UNIT NUMBER
2 BR - 3.2	1-202	2 BR - 3.2	2-315	2 BR - 3.2	2-315
2 BR - 3.2	1-402	2 BR - 3.2	2-215	2 BR - 3.2	2-215
2 BR - 3.2	1-502	2 BR - 3.2	2-115	2 BR - 3.2	2-115
2 BR - 3.2	1-302	2 BR - 3.2	2-415	2 BR - 3.2	2-415
2 BR - 3.2	1-102	2 BR - 3.2	2-515	2 BR - 3.2	2-515

* 2 BR - 3.2 IS THE SAME AS 2 BR - 3.0, BUT INCLUDES PLUMBING CHASE WALL WHEN UNIT OCCURS ADJACENT TO STAIRS. SEE 2 BR - 3.0 / TYPICAL FOR RCP.

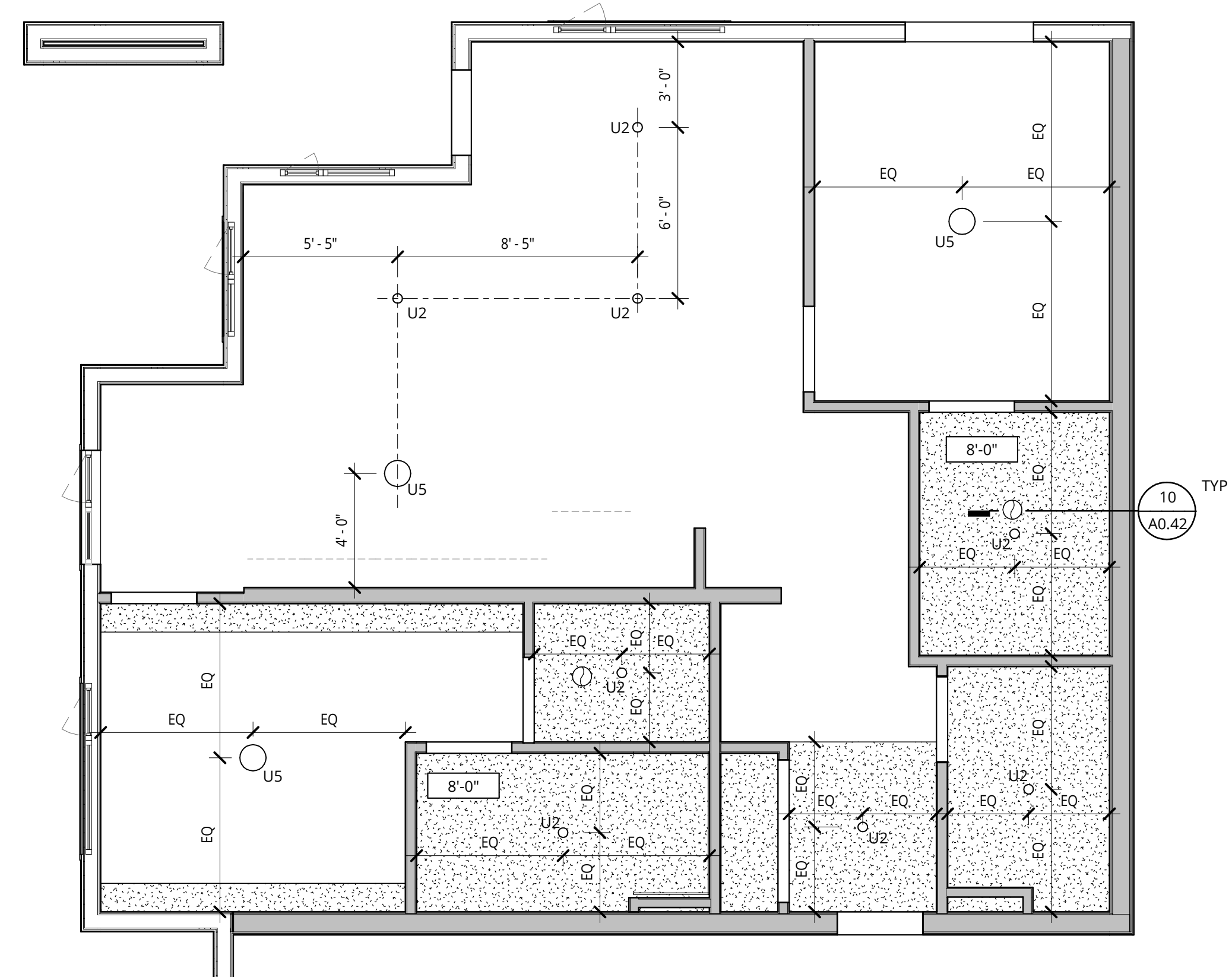
RCP LEGEND

- LIGHTING**
- LINEAR
 - PENDANT
 - U2 - LED SURFACE MOUNT LIGHT
 - U5 - LED SURFACE MOUNT LIGHT
 - RECESSED DOWNLIGHT
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 - VANITY FIXTURE
 - EXHAUST FAN

- CEILINGS**
- BOTTOM OF FLOOR ASSEMBLY GYPSUM WALLBOARD
 - DROPPED GYPSUM BOARD CEILING BELOW RATED ASSEMBLY. SEE PLANS FOR HEIGHTS.
 - WOOD PLANK CEILING TILE TYPE (WD-5)
 - VENTED SOFFIT - PAINTED-FC TRIM SLATS
 - ACT-1 TECTUM FINALE PANELS - INSTALL PER MANUFACTURER INSTRUCTIONS FOR D-20 INSTALLATION METHOD
 - ACT-2 EXPANDED MESH LAY-IN CEILING
 - WOOD OR MDF PANEL APPLIED TO CEILING - SEE INTERIOR DETAILS



3 RCP - 2 BED - 3.0 / TYPICAL
1/4" = 1'-0"



6 RCP - LIVE WORK UNIT - 3.1
1/4" = 1'-0"

ELMONICA
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1

UNIT PLANS, RCPS

LAND USE

DATE	PROJECT NUMBER
5.25.2023	215390

SHEET NUMBER
A5.27

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- 15. REFER TO INDIVIDUAL ENLARGED UNIT PLANS FOR CEILING INFORMATION WITHIN RESIDENTIAL UNITS.
- 16. DECORATIVE LIGHTING WITH TAGS IS FOR AMENITY AREAS. REFER TO A8 SERIES FOR GENERAL AND BACK OF HOUSE LIGHTING.
- 17. REFER TO ROOM FINISH SCHEDULE FOR ROLLERSHADE LOCATIONS. ALL EXTERIOR WINDOWS WITHIN THAT ROOM ARE TO RECEIVE A ROLLERSHADE, U.N.O.

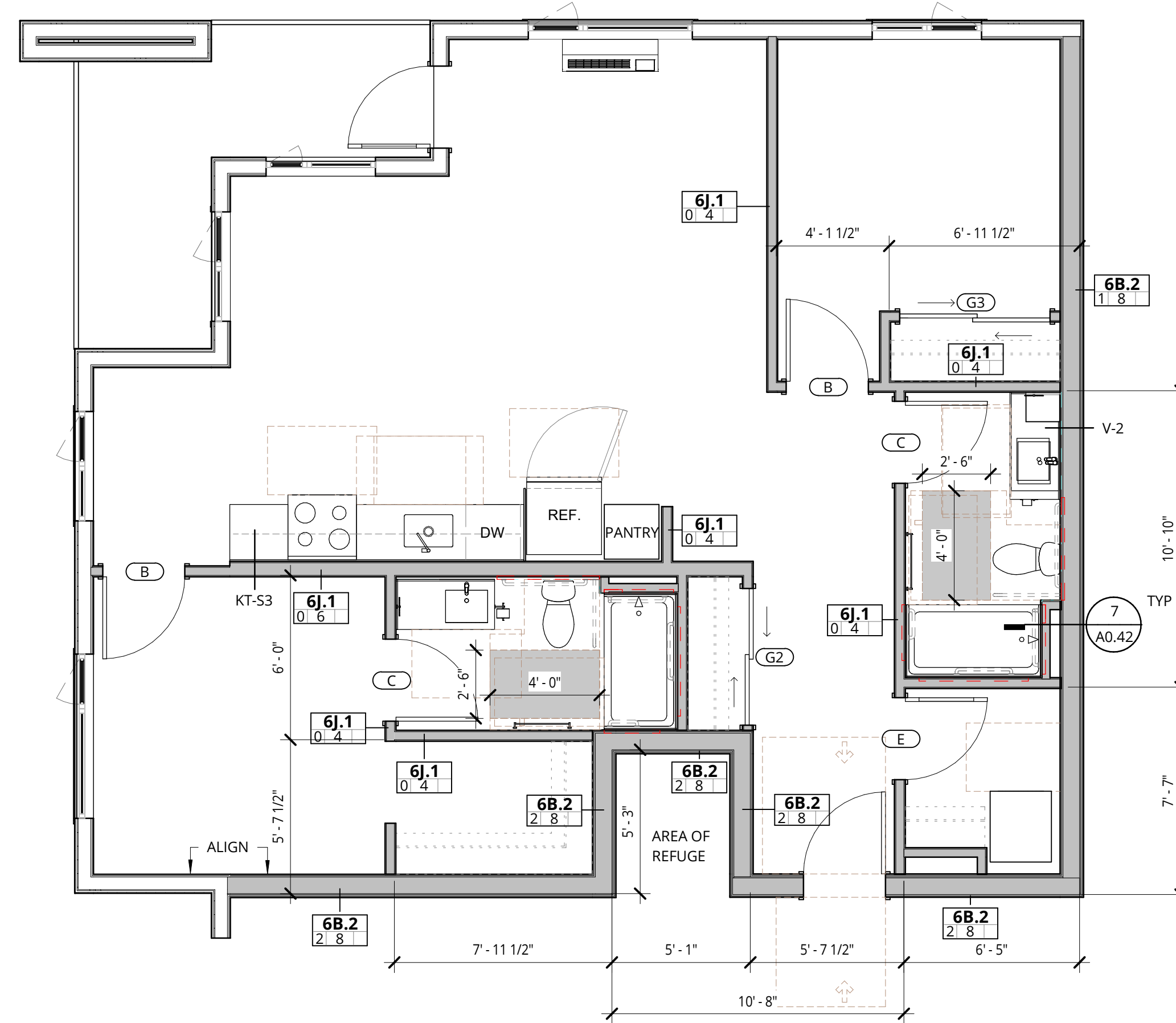
GENERAL NOTES - ENLARGED PLANS

- 1. REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- 2. SEE SLAB PLANS FOR CONCRETE AND MASONRY WALL LOCATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.
- 3. SEE SHEETS A0.21, A0.22 FOR WALL ASSEMBLY INFORMATION.
- 4. SEE SHEETS BEGINNING ON A5.01 FOR TYPICAL ACCESSIBILITY CLEARANCES.
- 5. PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING A5.01.
- 6. DWELLING UNITS ARE TYPE 'B' UNLESS NOTED OTHERWISE. PROVIDE REINFORCEMENT IN WALLS FOR FUTURE GRAB BAR INSTALLATION AT ALL WATER CLOSETS AND BATH/TUB/SHOWERS IN ALL RESIDENTIAL UNITS. SEE SHEETS A5.05 AND A5.06.
- 7. TYPE A UNIT CLOSETS:
 - A. BEDROOM CLOSETS: PROVIDE ONE ROD AND SHELF FULL WIDTH, MOUNTED AT 36" AFF. PROVIDE ONE ADDITIONAL ROD AND SHELF FOR ONE THIRD OF THE CLOSET WIDTH, MOUNTED AT 72" AFF.
 - B. ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FOR ONE HALF OF THE CLOSET WIDTH AND ONE AT 36" AFF FOR THE REMAINING HALF.
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 - B. TYPE B UNIT ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FULL WIDTH.
- 9. ALIGN CENTER OF CLOSET DOORS WITH THE CENTER OF CLOSET IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.
- 10. ALL REACH-IN RESIDENTIAL CLOSETS ARE 24" DEEP INSIDE CLEAR (FACE OF WALL TO FACE OF WALL) UNLESS NOTED OTHERWISE.
- 11. WING WALLS ADJACENT TO CASEWORK ARE 2'-2" LONG, UNLESS NOTED OTHERWISE.
- 12. WING WALLS OR FURRING WALLS ADJACENT TO BATHTUBS OR SHOWERS EXTEND A MAXIMUM OF 1'-1/2" BEYOND FACE OF SHIRT OR CURB, UNLESS NOTED OTHERWISE SUCH THAT TOTAL OVERLAP INTO A ACCESSIBILITY CLEARANCE (INCLUDING BASE) IS 2" OR LESS.
- 13. CONFORM TO MOUNTING HEIGHT REQUIREMENTS SHOWN ON 19/A5.01.
- 14. PROVIDE CANE DETECTION IN ACCORDANCE WITH DETAIL 3/A5.01 BELOW OBJECTS WHICH PROJECT BEYOND THE LIMITS SHOWN IN DETAIL 3/A5.01.
- 15. SEE VANITY ELEVATIONS ON SHEETS A10.21
- 16. SEE KITCHEN ELEVATIONS ON SHEETS A10.11, A10.12 AND A10.12 FOR ACCESSIBLE OUTLET AND SWITCH LOCATIONS.
- 17. PROVIDE BLOCKING FOR WALL MOUNTED BIKE RACK.
- 18. PROVIDE ADDITIONAL LAYERS (S) OF GIP AS REQUIRED TO ALIGN FINISHES.
- 19. PROVIDE OUTLET AT SIDEWALL, 6" MAX FROM THE EDGE OF THE COUNTER.

NOT FOR CONSTRUCTION

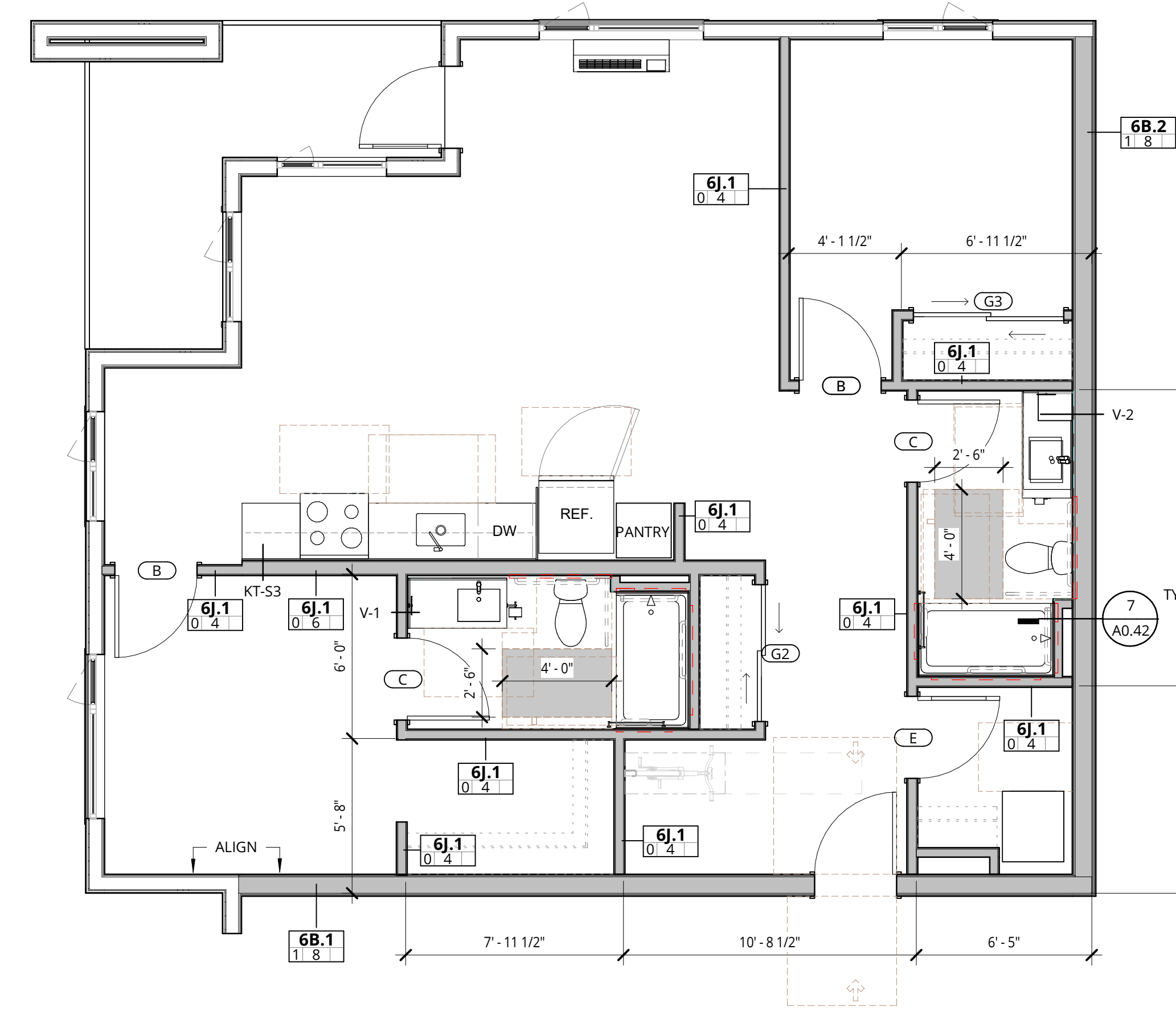


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1 2 BED - 3.4
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER
BUILDING 2	
2 BR - 3.4	2-101
BUILDING 3	
2 BR - 3.4	3-101



2 2 BED - 3.5
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER
BUILDING 2	
2 BR - 3.5	2-301
2 BR - 3.5	2-201
2 BR - 3.5	2-401
2 BR - 3.5	2-501
BUILDING 3	
2 BR - 3.5	3-201
2 BR - 3.5	3-301
2 BR - 3.5	3-401
2 BR - 3.5	3-501

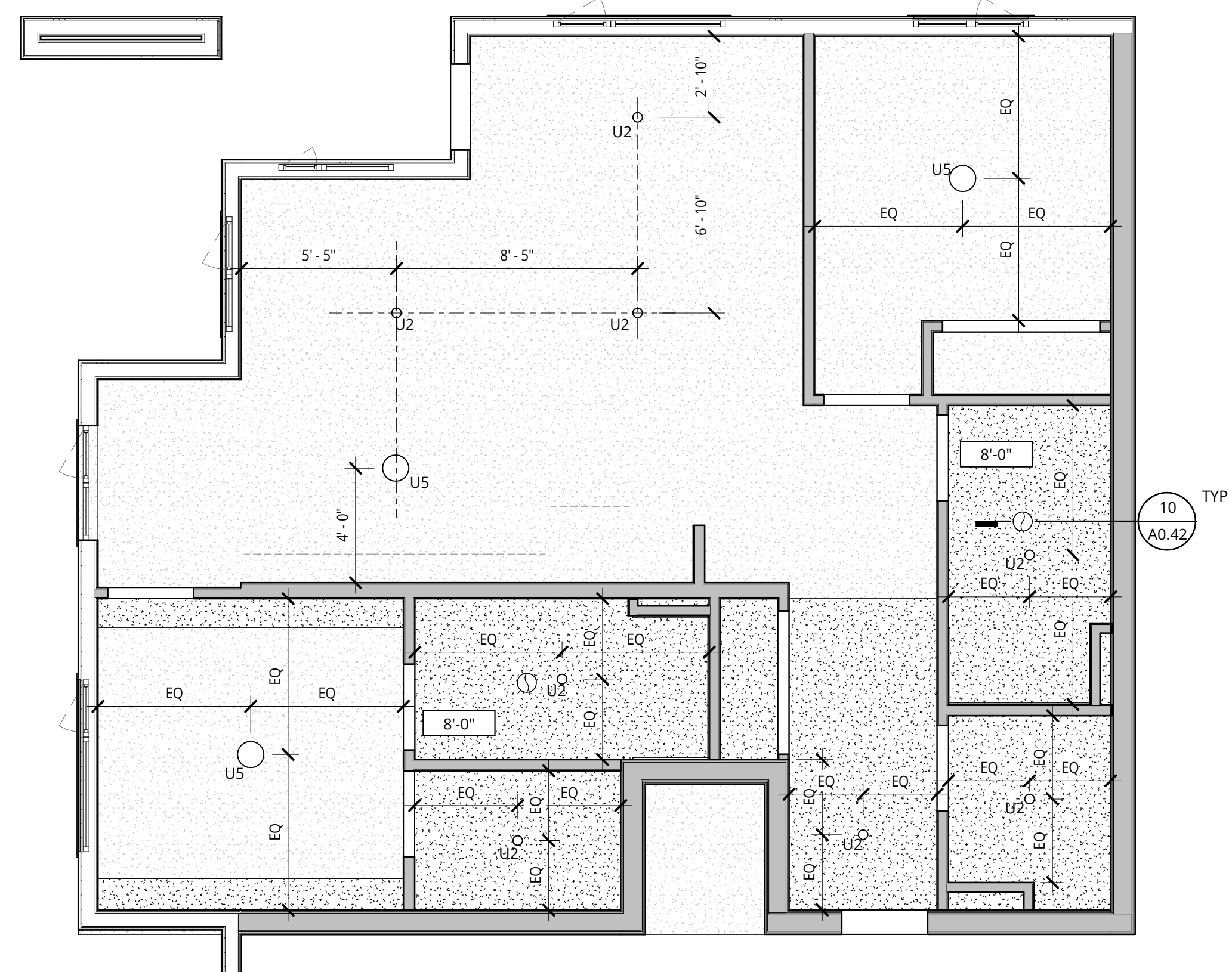
RCP LEGEND

LIGHTING

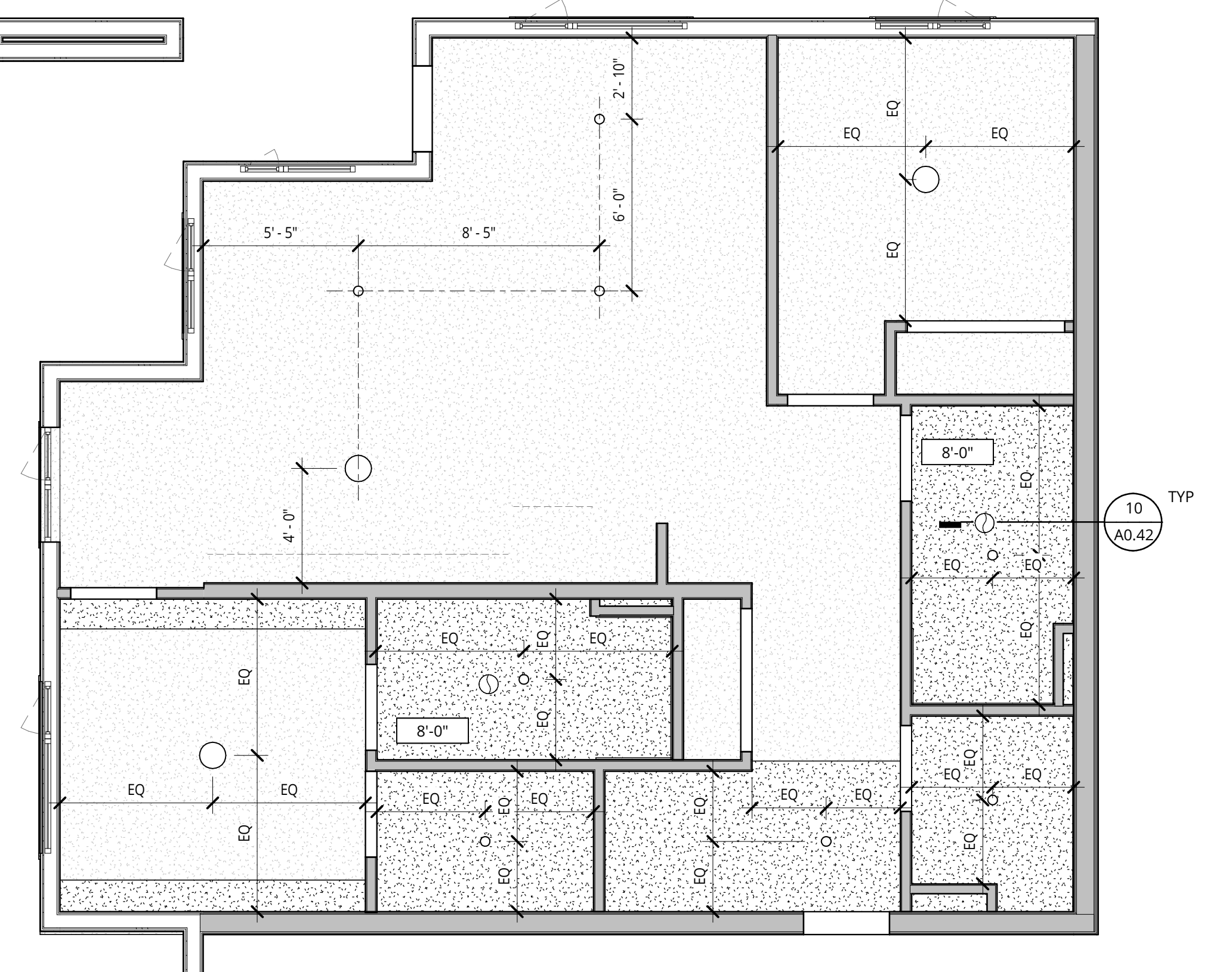
- LINEAR
- PENDANT
- U2 - LED SURFACE MOUNT LIGHT
- U5 - LED SURFACE MOUNT LIGHT
- RECESSED DOWNLIGHT
- RECESSED WALL WASHER
- UNDER CABINET LINEAR
- COVE AND/OR WALL GRAZE LIGHTING
- WALL SCONCE
- VANITY FIXTURE
- EXHAUST FAN

CEILINGS

- BOTTOM OF FLOOR ASSEMBLY GYPSUM WALLBOARD
- DROPPED GYPSUM BOARD CEILING BELOW RATED ASSEMBLY. SEE PLANS FOR HEIGHTS.
- WOOD PLANK CEILING TILE TYPE (WD-5)
- VENTED SOFFIT - PAINTED-FC TRIM SLATS
- ACT-1 TECTUM FINALE PANELS - INSTALL PER MANUFACTURER INSTRUCTIONS FOR D-20 INSTALLATION METHOD
- ACT-2 EXPANDED MESH LAY-IN CEILING
- WOOD OR MDF PANEL APPLIED TO CEILING - SEE INTERIOR DETAILS



3 RCP - 2 BED - 3.4
1/4" = 1'-0"



4 RCP - 2 BED - 3.5
1/4" = 1'-0"

ELMONICA
SW 170TH AND W BASELINE
REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

UNIT PLANS, RCPS

LAND USE

MEP COORDINATION NOTES

- A. ONE ERV PER RESIDENTIAL UNIT WITH RECIRCULATING VENT HOOD AND CONTINUOUS EXHAUST FROM KITCHEN TO ERV. ONE SEPARATE INTAKE AND EXHAUST LOUVER AT EXTERIOR WALL PER UNIT. NOTE THAT EXTERIOR ELEVATIONS SHOW ONE LARGER LOUVER WHICH WILL BE SPLIT IN TO TWO SMALLER ONES. ROUTING OF DUCTS, DROP CEILINGS AND DISTANCE FROM WINDOW OPERABLE TO BE COORDINATED AFTER DD SET.
- B. PROVIDE TRANSFER FAN FOR VENTILATION AT BEDROOM AREA AT STUDIOS THAT 1.0, 1.1, 1.2

**GENERAL NOTES
REFLECTED CEILING PLANS**

1. REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ADJUST LIGHT GAUGE METAL FRAMING SIZE, GAUGE AND SPACING AT SOFFITS AND CEILINGS TO MEET MANUFACTURER'S PUBLISHED SPAN TABLES, SPECIFIED DEFLECTION CRITERIA, AND TO SUPPORT BOTH GRAVITY AND LATERAL LOADS.
3. CEILING AND SOFFIT HEIGHTS ARE MEASURED VERTICALLY FROM THE FINISHED FACE OF CEILING OR SOFFIT TO FLOOR LEVEL UNLESS NOTED OTHERWISE.
4. LOCATE SPRINKLER HEADS, HVAC GRILLS, TRIM, SMOKE DETECTORS, GAS ANTENNAS, RECESSED LIGHT FIXTURES AND OTHER CEILING MOUNTED DEVICES IN THE CENTER OF ACOUSTICAL CEILING TILES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
5. ALIGN HVAC GRILLS, DIFFUSERS AND OTHER TRIM WITH SPRINKLER HEADS, SMOKE DETECTORS, SPEAKERS AND OTHER CEILING MOUNTED DEVICES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
6. CENTER LUMINAIRES (OR GROUPS OF LUMINAIRES) WITHIN THE ROOM OR SPACE, AND CENTER FIXTURES WITHIN CEILING TILE PANELS, UNLESS DIMENSIONED OTHERWISE.
7. PROVIDE CONTROL JOINTS IN GYPSUM WALLBOARD SOFFITS AND CEILINGS AS INDICATED, OR AT MAX 30" ON CENTER EACH WAY IF NOT INDICATED.
8. REFER TO MECHANICAL DRAWINGS FOR VENTING AND DUCTING LOCATIONS.
9. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURES TYPES, LIGHTING SWITCHING LOCATIONS, LOW VOLTAGE DESIGN, AND RECEPTACLE LOCATIONS.
10. FIRE STOP ALL PENETRATIONS THROUGH RATED WALLS AND CEILINGS. PROVIDE FIRE DAMPERS AND/OR FIRE SMOKE DAMPERS AT OPENINGS. REFER TO MECHANICAL DRAWINGS.
11. PROVIDE ACCESS PANELS (PRE RATED WHERE REQUIRED) AT ALL NECESSARY LOCATIONS.
12. ALL WALLS ARE FULL HEIGHT TO STRUCTURE ABOVE UNLESS OTHERWISE NOTED. PROVIDE FIRE STOPPING AND ACOUSTIC SEALANT AT RATED WALLS. SEE FIRE/LIFE SAFETY SHEETS BEGINNING ON G2.01 FOR ADDITIONAL INFORMATION.
13. PROVIDE SEISMIC JOINTS IN ALL CEILINGS AS REQUIRED BY THE MOST STRINGENT APPLICABLE CODE WHETHER INDICATED ON THE DRAWINGS OR NOT. FOR LOCATIONS NOT SHOWN, REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
14. TYPICAL GYPSUM WALLBOARD ON CEILINGS IS 5/8" INCH UNLESS NOTED OTHERWISE.
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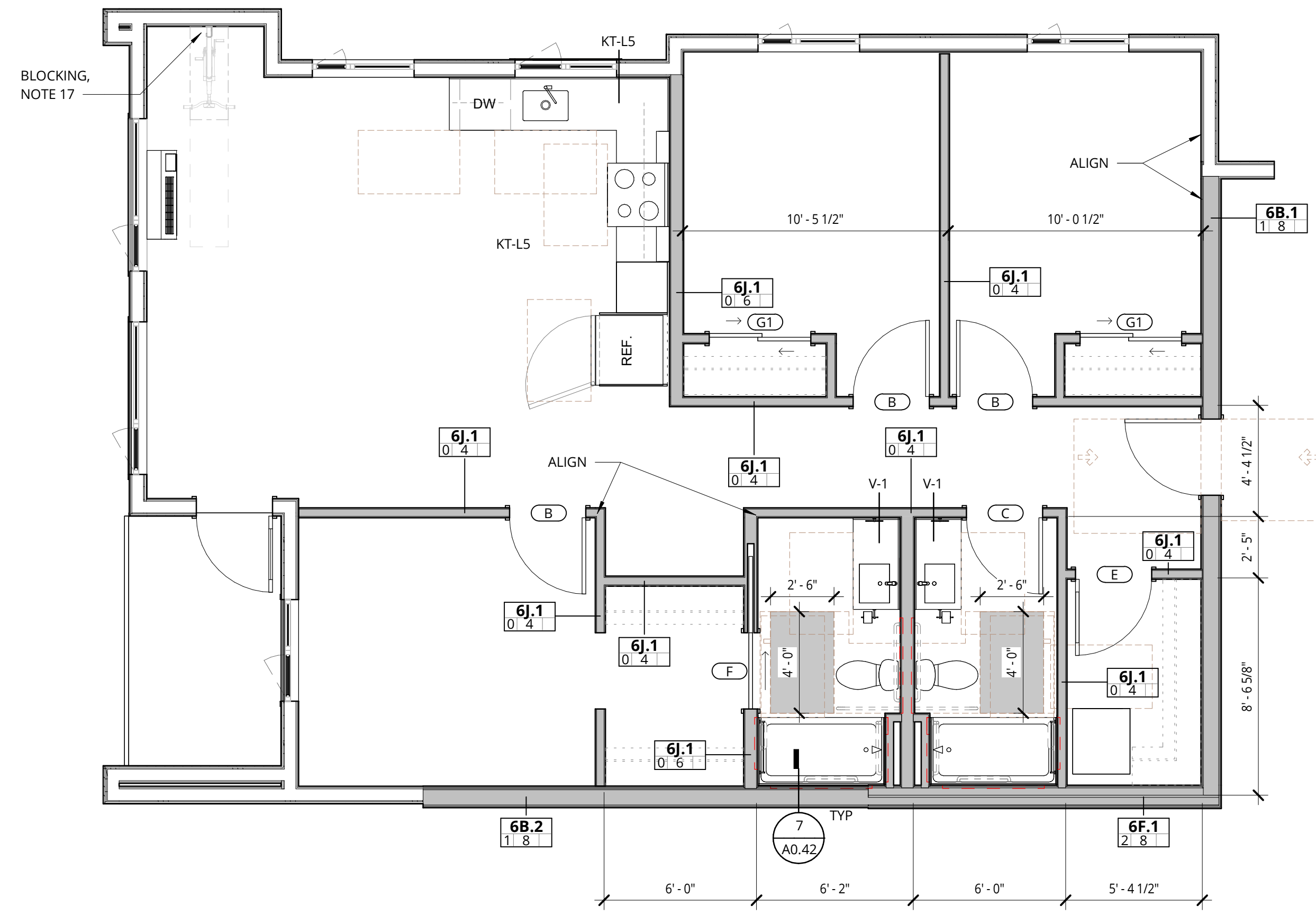
GENERAL NOTES - ENLARGED PLANS

1. REFER TO SHEET A0.01 FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
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10. ALL REACH-IN RESIDENTIAL CLOSETS ARE 24" DEEP INSIDE CLEAR (FACE OF WALL TO FACE OF WALL) UNLESS NOTED OTHERWISE.
11. WING WALLS ADJACENT TO CASEWORK ARE 2'-2" LONG, UNLESS NOTED OTHERWISE.
12. WING WALLS OR FURRING WALLS ADJACENT TO BATHTUBS OR SHOWERS EXTEND A MAXIMUM OF 1'-1/2" BEYOND FACE OF SHIRT OR CURB, UNLESS NOTED OTHERWISE SUCH THAT TOTAL OVERLAP INTO A ACCESSIBILITY CLEARANCE (INCLUDING BASE) IS 2" OR LESS.
13. CONFORM TO MOUNTING HEIGHT REQUIREMENTS SHOWN ON **19/A5.01**.
14. PROVIDE CANE DETECTION IN ACCORDANCE WITH DETAIL **3/A5.01** BELOW OBJECTS WHICH PROJECT BEYOND THE LIMITS SHOWN IN DETAIL **3/A5.01**.
15. SEE VANITY ELEVATIONS ON SHEETS **A10.21**
16. SEE VANITY ELEVATIONS ON SHEETS **A10.11, A10.12** AND **A10.12** FOR ACCESSIBLE OUTLET AND SWITCH LOCATIONS.
17. PROVIDE BLOCKING FOR WALL MOUNTED BIKE RACK.
18. PROVIDE ADDITIONAL LAYERS OF COP AS REQUIRED TO ALIGN FINISHES.
19. PROVIDE OUTLET AT SIDEWALL, 6" MAX FROM THE EDGE OF THE COUNTER.

NOT FOR CONSTRUCTION

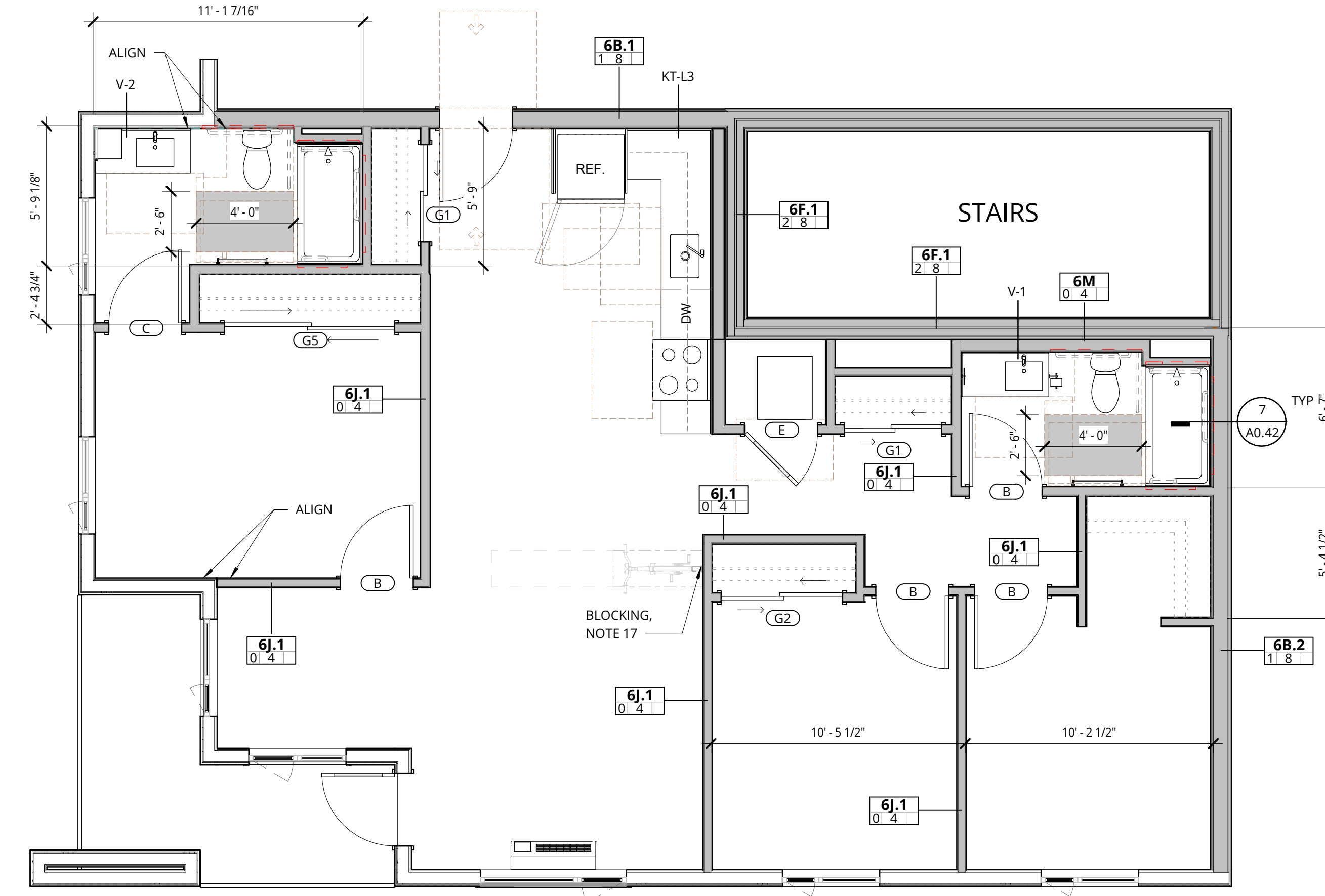


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5 3 BED - 1.0
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER
BUILDING 1	
3 BR - 1.0	1-218
3 BR - 1.0	1-219
3 BR - 1.0	1-318
3 BR - 1.0	1-319
3 BR - 1.0	1-418
3 BR - 1.0	1-419
3 BR - 1.0	1-518
3 BR - 1.0	1-519

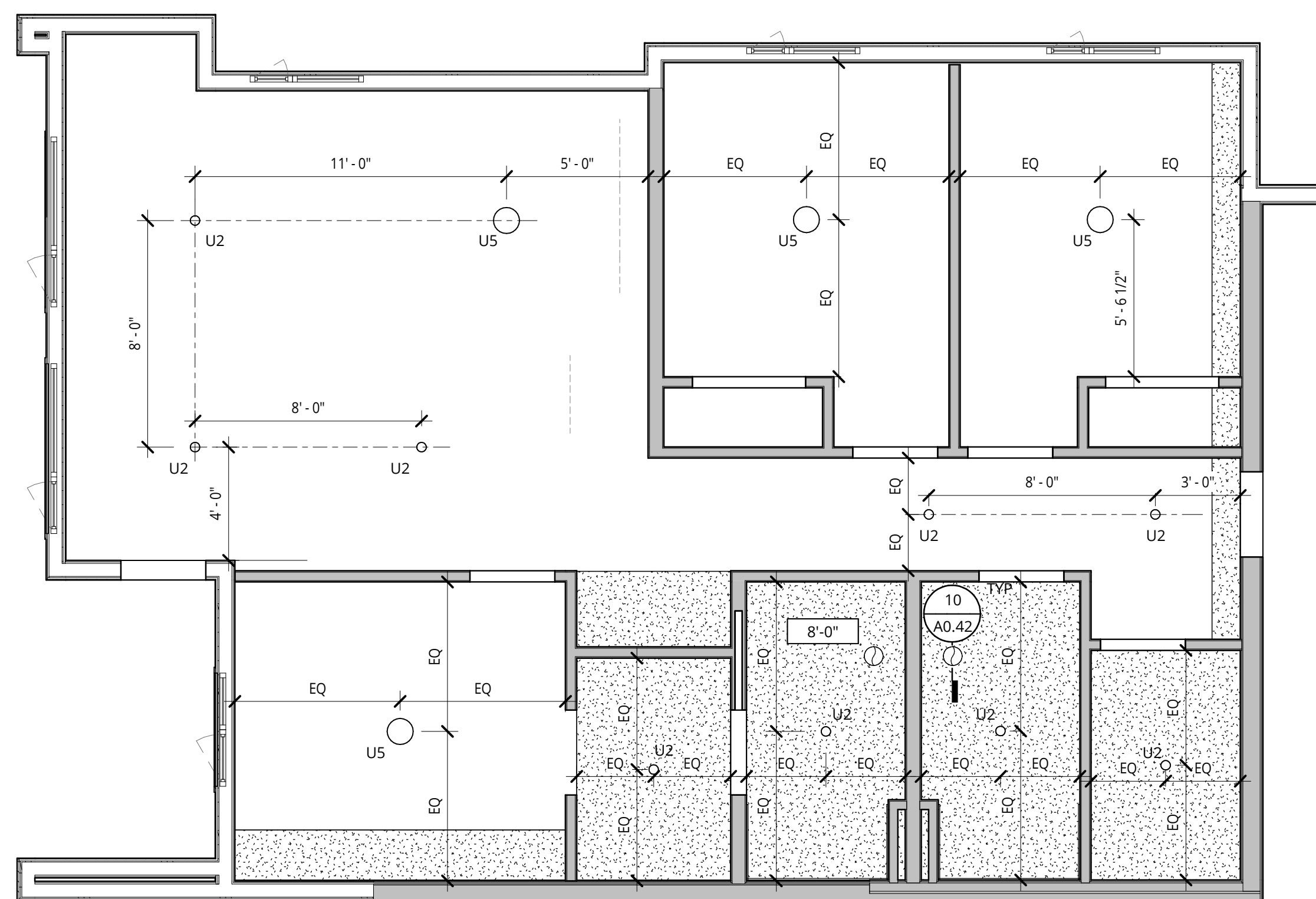


1 3 BED - 2.0
1/4" = 1'-0"

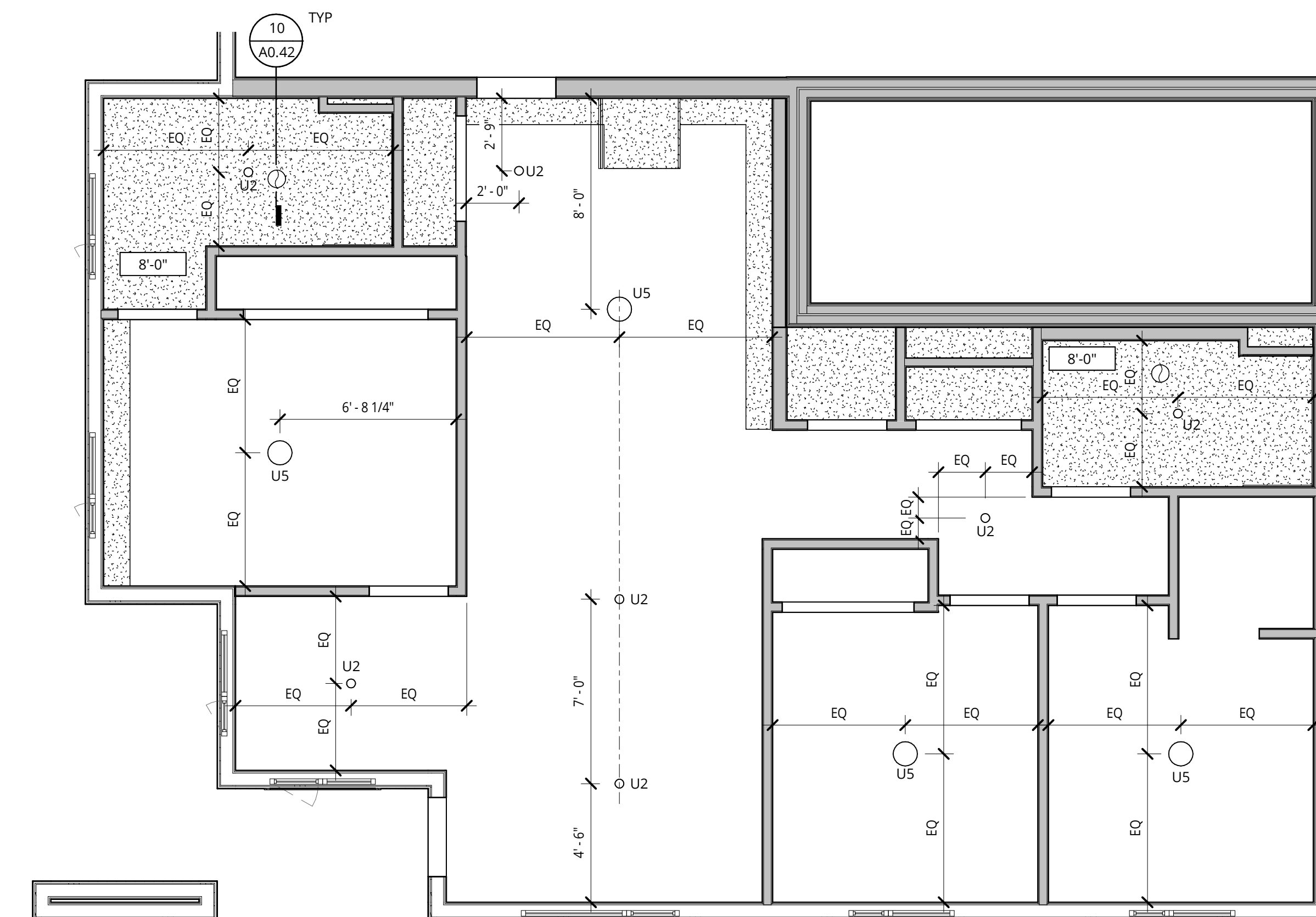
UNIT NAME	UNIT NUMBER	UNIT NAME	UNIT NUMBER
BUILDING 2		BUILDING 3	
3 BR - 2.0	2-302	3 BR - 2.0	3-102
3 BR - 2.0	2-202	3 BR - 2.0	3-217
3 BR - 2.0	2-102	3 BR - 2.0	3-202
3 BR - 2.0	2-402	3 BR - 2.0	3-317
3 BR - 2.0	2-502	3 BR - 2.0	3-302
		3 BR - 2.0	3-417
		3 BR - 2.0	3-402
		3 BR - 2.0	3-517
		3 BR - 2.0	3-502

RCP LEGEND

- LIGHTING**
- LINEAR
 - PENDANT
 - U2 - LED SURFACE MOUNT LIGHT
 - U5 - LED SURFACE MOUNT LIGHT
 - RECESSED DOWNLIGHT
 - RECESSED WALL WASHER
 - UNDER CABINET LINEAR
 - COVE AND/OR WALL GRAZE LIGHTING
 - WALL SCONCE
 - VANITY FIXTURE
 - EXHAUST FAN
- CEILINGS**
- BOTTOM OF FLOOR ASSEMBLY GYPSUM WALLBOARD
 - DROPPED GYPSUM BOARD CEILING BELOW RATED ASSEMBLY. SEE PLANS FOR HEIGHTS.
 - WOOD PLANK CEILING TILE TYPE (WD-5)
 - VENTED SOFFIT - PAINTED FC TRIM SLATS
 - ACT-1 TECTUM FINALE PANELS - INSTALL PER MANUFACTURER INSTRUCTIONS FOR D-20 INSTALLATION METHOD
 - ACT-2 EXPANDED MESH LAY-IN CEILING
 - WOOD OR MDF PANEL APPLIED TO CEILING - SEE INTERIOR DETAILS



6 RCP - 3 BED - 1.0
1/4" = 1'-0"



3 RCP - 3 BED - 2.0
1/4" = 1'-0"

ELMONICA
SW 170TH AND W BASELINE
REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

UNIT PLANS, RCPS

LAND USE

DATE	PROJECT NUMBER
5.25.2023	215390

SHEET NUMBER

A5.29

MEP COORDINATION NOTES

- A. ONE ERV PER RESIDENTIAL UNIT WITH RECIRCULATING VENT HOOD AND CONTINUOUS EXHAUST FROM KITCHEN TO ERV. ONE SEPARATE INTAKE AND EXHAUST LOUVER AT EXTERIOR WALL PER UNIT. NOTE THAT EXTERIOR ELEVATIONS SHOW ONE LARGER LOUVER WHICH WILL BE SPLIT IN TO TWO SMALLER ONES. ROUTING OF DUCTS, DROP CEILINGS AND DISTANCE FROM WINDOW OPERABLE TO BE COORDINATED AFTER DD SET.
- B. PROVIDE TRANSFER FAN FOR VENTILATION AT BEDROOM AREA AT STUDIOS THAT 1.0, 1.1, 1.2

**GENERAL NOTES
REFLECTED CEILING PLANS**

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ADJUST LIGHT GAUGE METAL FRAMING SIZE, GAUGE AND SPACING AT SOFFITS AND CEILINGS TO MEET MANUFACTURER'S PUBLISHED SPAN TABLES, SPECIFIED DEFLECTION CRITERIA, AND TO SUPPORT BOTH GRAVITY AND LATERAL LOADS.
3. CEILING AND SOFFIT HEIGHTS ARE MEASURED VERTICALLY FROM THE FINISHED FACE OF CEILING OR SOFFIT TO FLOOR LEVEL, UNLESS NOTED OTHERWISE.
4. LOCATE SPRINKLER HEADS, HVAC GRILLS, TRIM, SMOKE DETECTORS, DAS ANTENNAS, RECESSED LIGHT FIXTURES AND OTHER CEILING MOUNTED DEVICES IN THE CENTER OF ACUSTICAL CEILING TILES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
5. ALIGN HVAC GRILLS, DIFFUSERS AND OTHER TRIM WITH SPRINKLER HEADS, SMOKE DETECTORS, SPEAKERS AND OTHER CEILING MOUNTED DEVICES EXCEPT AS SPECIFICALLY NOTED OR SHOWN.
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9. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE TYPES, LIGHTING SWITCHING LOCATIONS, LOW VOLTAGE DESIGN, AND RECEPTACLE LOCATIONS.
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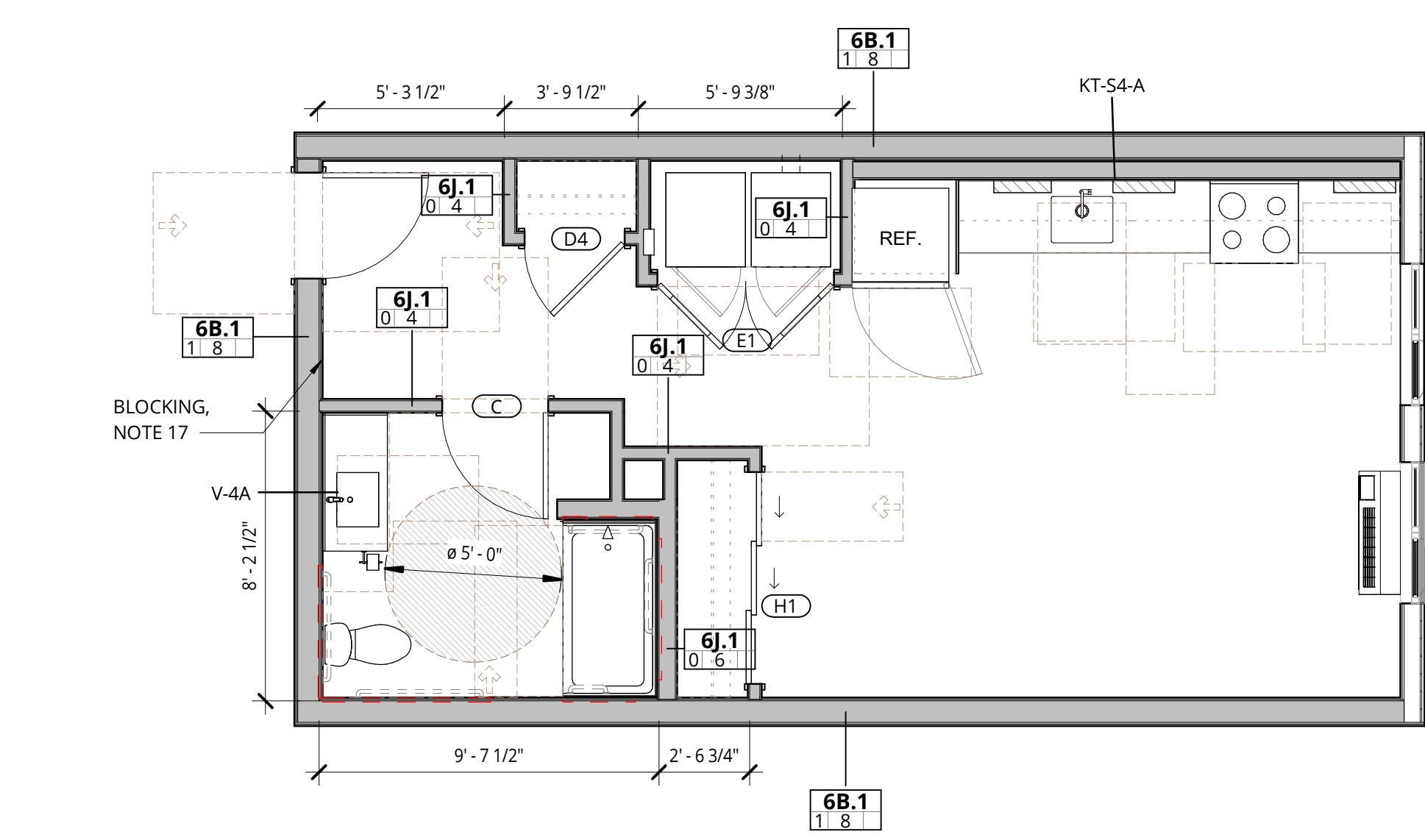
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5. PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING AS 01.
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 - B. ENTRY AREA CLOSETS: PROVIDE ONE ROD AND SHELF MOUNTED AT 72" AFF FOR ONE HALF OF THE CLOSET WIDTH AND ONE AT 36" AFF FOR THE REMAINING HALF.
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10. ALL REACH-IN RESIDENTIAL CLOSETS ARE 24" DEEP INSIDE CLEAR (FACE OF WALL TO FACE OF WALL) UNLESS NOTED OTHERWISE.
11. WING WALLS ADJACENT TO CASEWORK ARE 2'-2" LONG, UNLESS NOTED OTHERWISE.
12. WING WALLS OR FURRING WALLS ADJACENT TO BATHTUBS OR SHOWERS REQUIRE A MAXIMUM OF 1'-1/2" BEYOND FACE OF SHIRT OR CURT, UNLESS NOTED OTHERWISE SUCH THAT TOTAL OVERLAP INTO A ACCESSIBILITY CLEARANCE (INCLUDING BASE) IS 2" OR LESS.
13. CONFORM TO MOUNTING HEIGHT REQUIREMENTS SHOWN ON **19A5.01**.
14. PROVIDE CAME DETECTION IN ACCORDANCE WITH DETAIL **31A5.01** BELOW OBJECTS WHICH PROJECT BEYOND THE LIMITS SHOWN IN DETAIL **31A5.01**.
15. SEE VANITY ELEVATIONS ON SHEETS **A10.12**.
16. SEE KITCHEN ELEVATIONS ON SHEETS **A10.11, A10.12** AND **A10.12** FOR ACCESSIBLE OUTLET AND SWITCH LOCATIONS.
17. PROVIDE BLOCKING FOR WALL MOUNTED BIKE RACK.
18. PROVIDE ADDITIONAL LAYERS (OR GYP) AS REQUIRED TO ALIGN FINISHES.
19. PROVIDE OUTLET AT SIDEWALL, 6" MAX FROM THE EDGE OF THE COUNTER.

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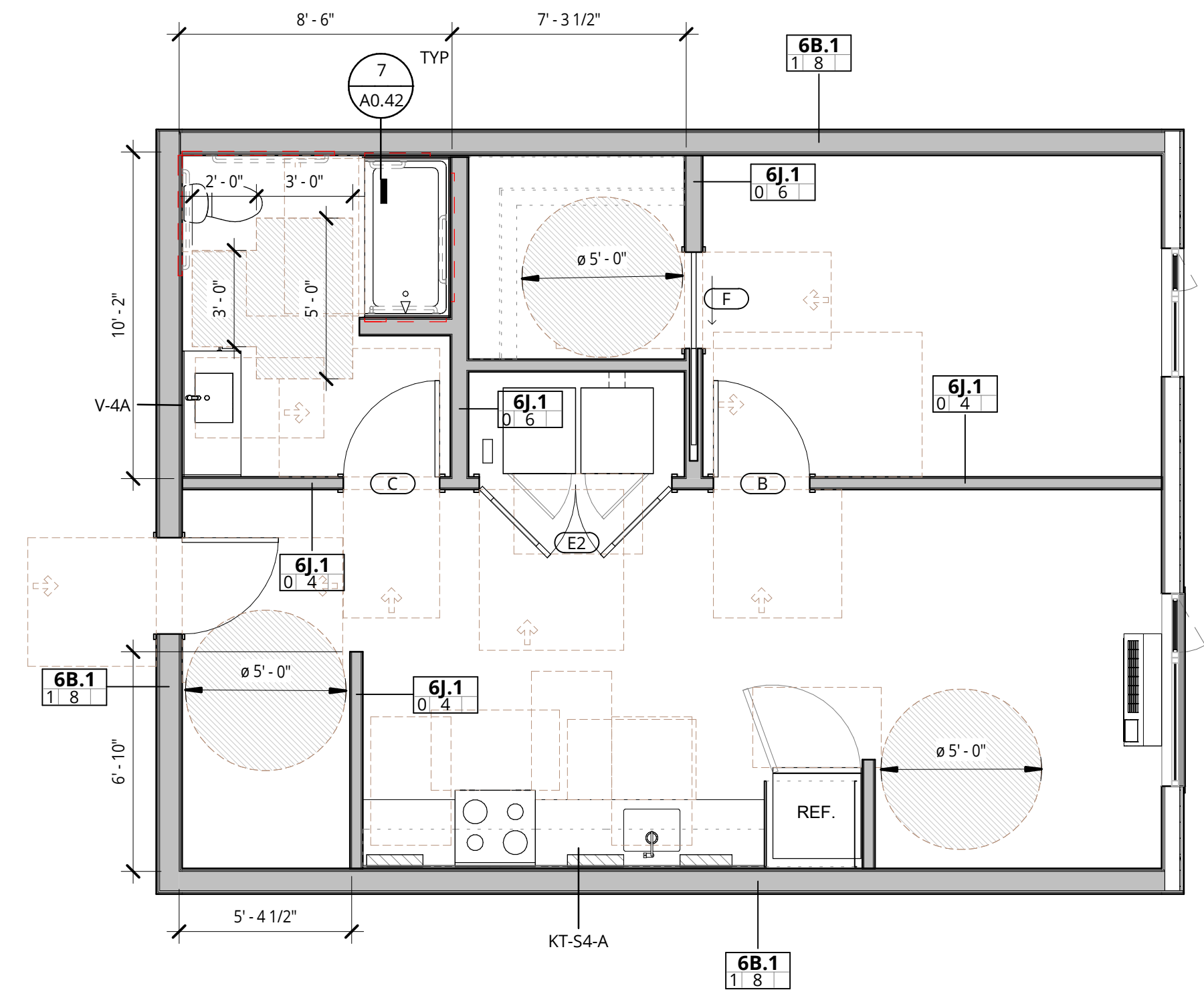


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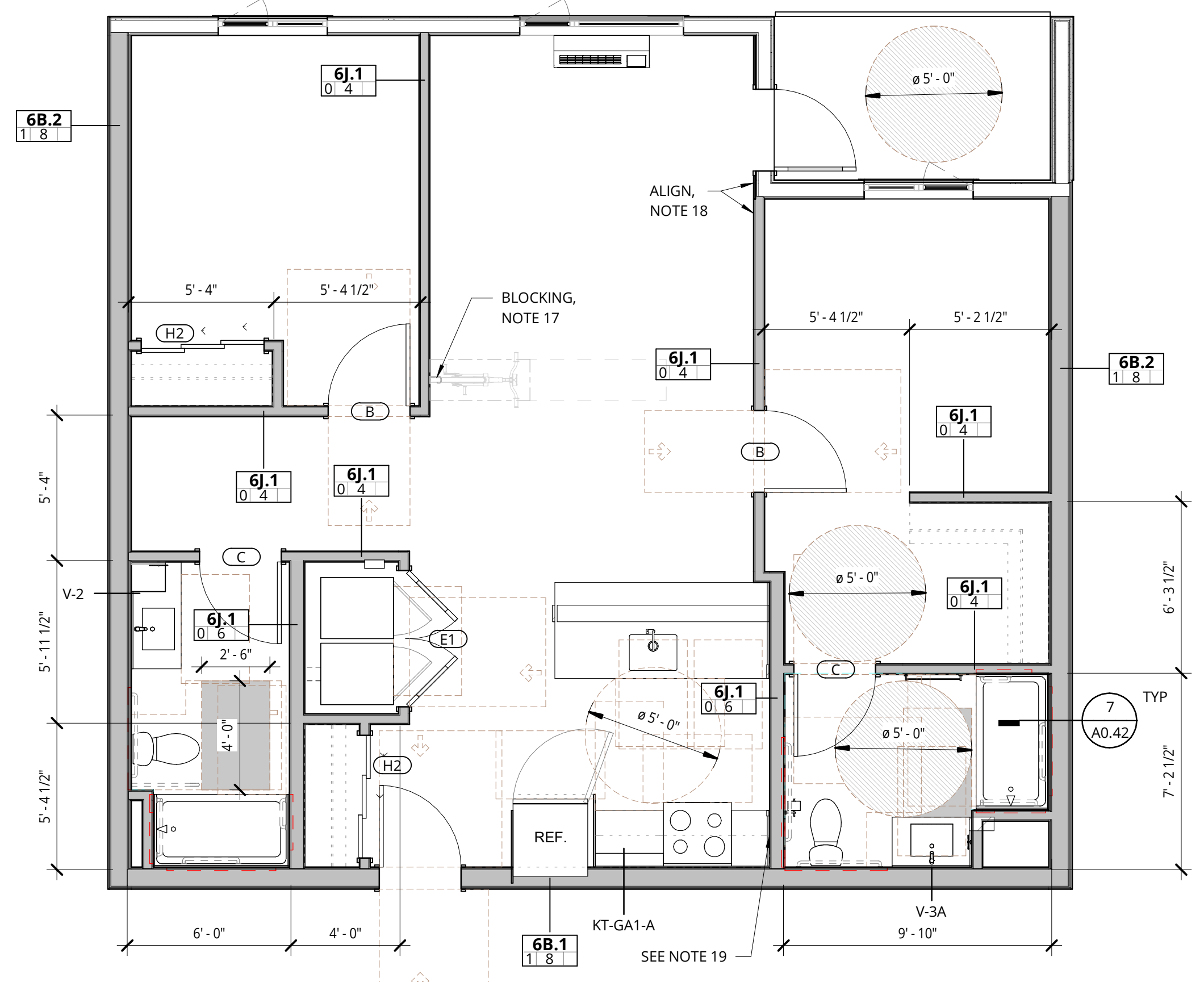
1 STUDIO - 0 BR - 1.4 - TYPE A
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER
BUILDING 1	
0 BR - TYPE A - 1.4	1-204



2 1 BED - 4.1 - TYPE A
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER
BUILDING 1	
1 BR - TYPE A - 1-109	4.1
BUILDING 2	
1 BR - TYPE A - 2-210	4.1



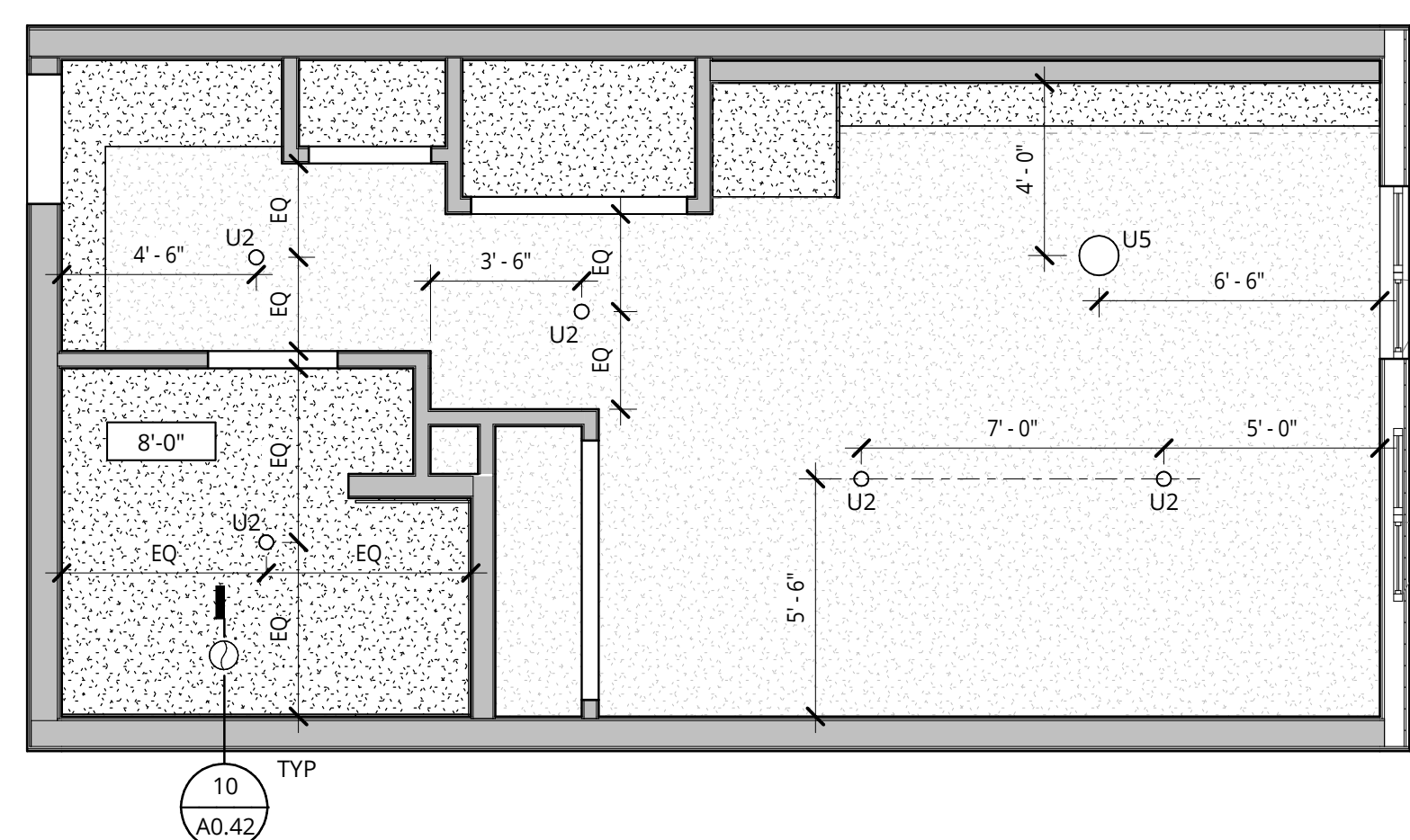
6 2 BED - 2.2 - TYPE A
1/4" = 1'-0"

UNIT NAME	UNIT NUMBER
BUILDING 2	
2 BR - TYPE A - 2.2	2-306

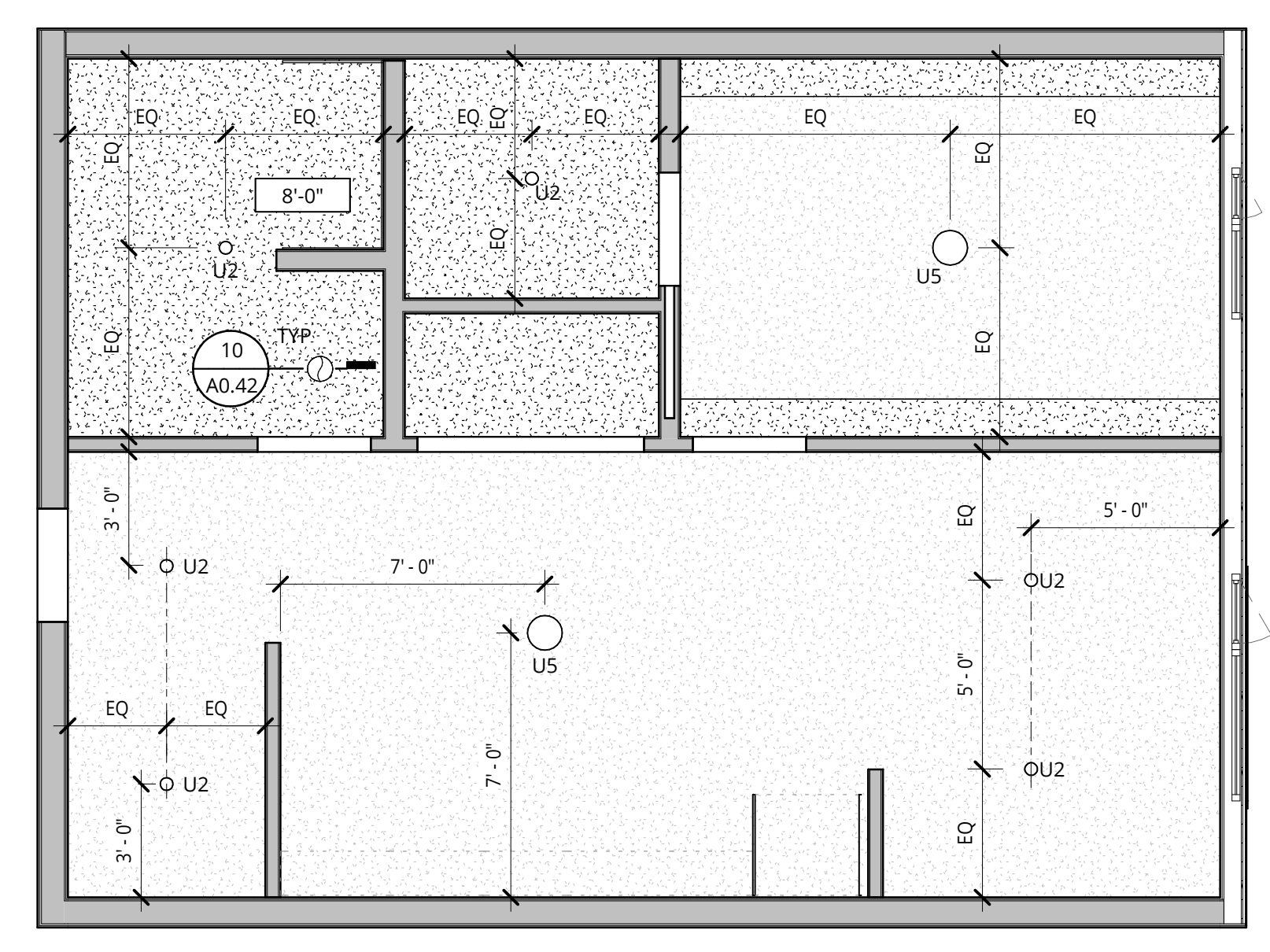
RCP LEGEND

- LIGHTING**
- LINEAR
 - PENDANT
 - U2 - LED SURFACE MOUNT LIGHT
 - US - LED SURFACE MOUNT LIGHT
 - RECESSED DOWNLIGHT
 - RECESSED WALL WASHER
 - UNDER CABINET LINEAR
 - COVE AND/OR WALL GRAZE LIGHTING
 - WALL SCONCE
 - VANITY FIXTURE
 - EXHAUST FAN

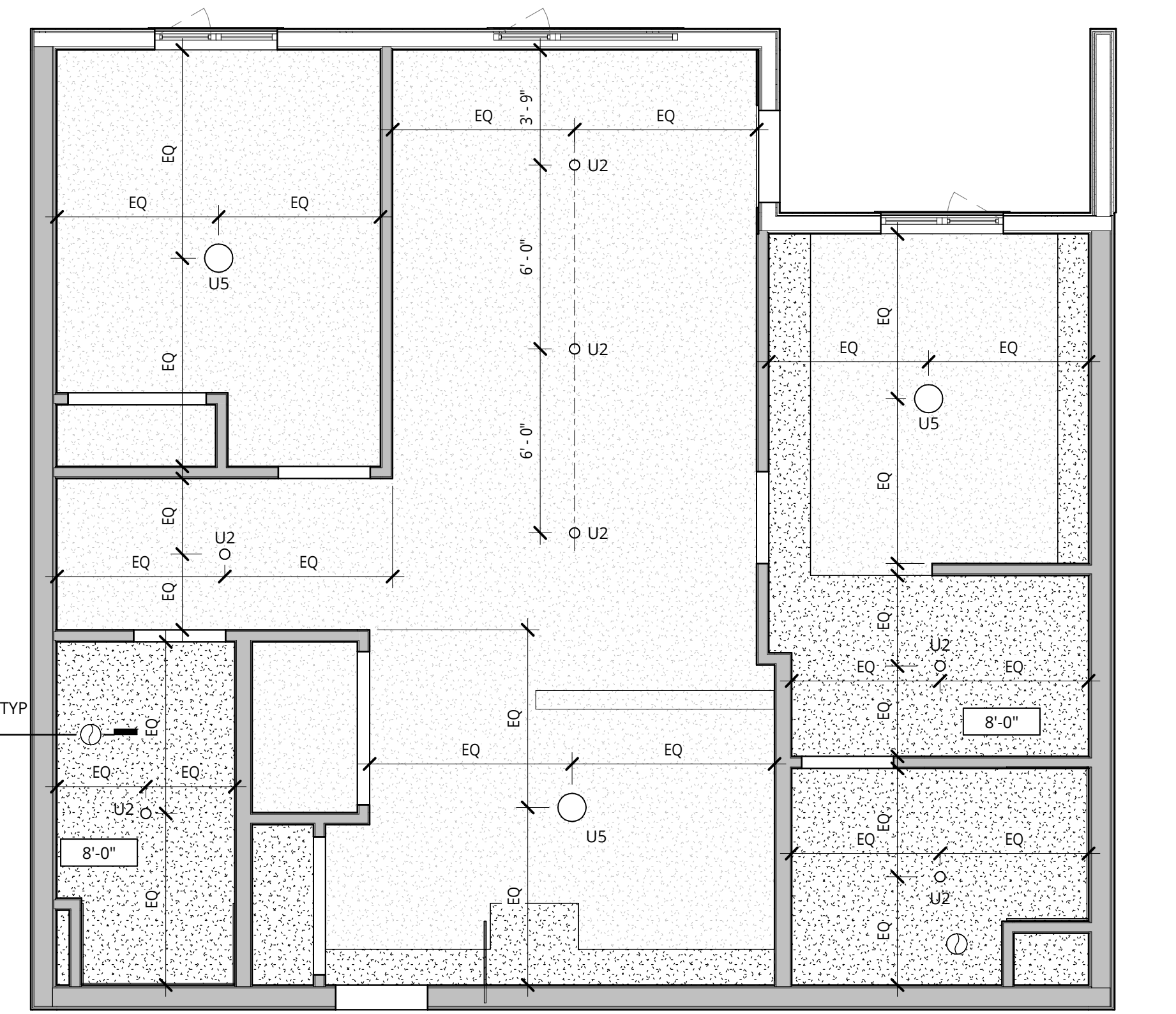
- CEILINGS**
- BOTTOM OF FLOOR ASSEMBLY GYPSUM WALLBOARD
 - DROPPED GYPSUM BOARD CEILING BELOW RATED ASSEMBLY. SEE PLANS FOR HEIGHTS.
 - WOOD PLANK CEILING TILE TYPE (WD-5)
 - VENTED SOFFIT - PAINTED FC TRIM SLATS
 - ACT-1 TECTUM FINALE PANELS - INSTALL PER MANUFACTURER INSTRUCTIONS FOR D-20 INSTALLATION METHOD
 - ACT-2 EXPANDED MESH LAY-IN CEILING
 - WOOD OR MDF PANEL APPLIED TO CEILING - SEE INTERIOR DETAILS



4 RCP - STUDIO - 0 BR - 1.4 - TYPE A
1/4" = 1'-0"



5 RCP - 1 BED - 4.1 - TYPE A
1/4" = 1'-0"



3 RCP - 2 BED - 2.2 - TYPE A
1/4" = 1'-0"

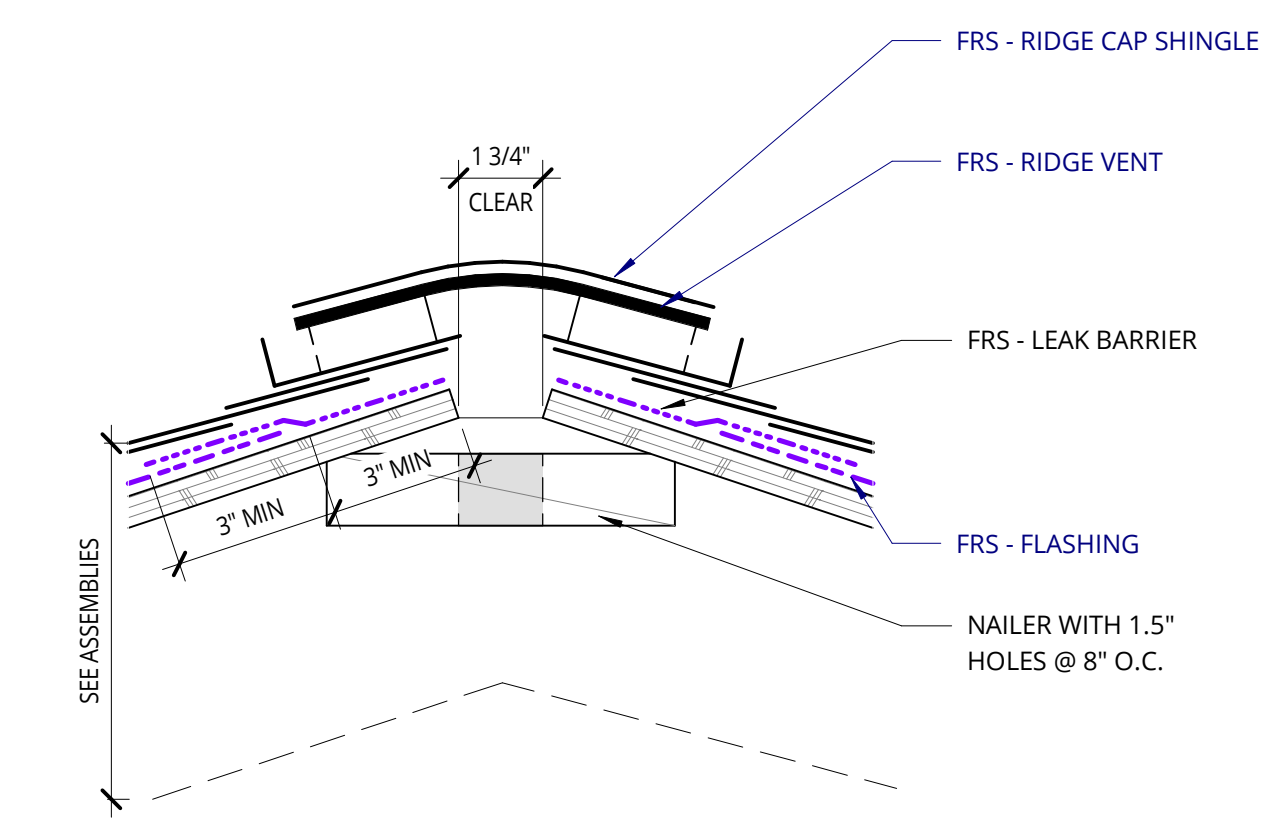
ELMONICA
SW 170TH AND W BASELINE
REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE

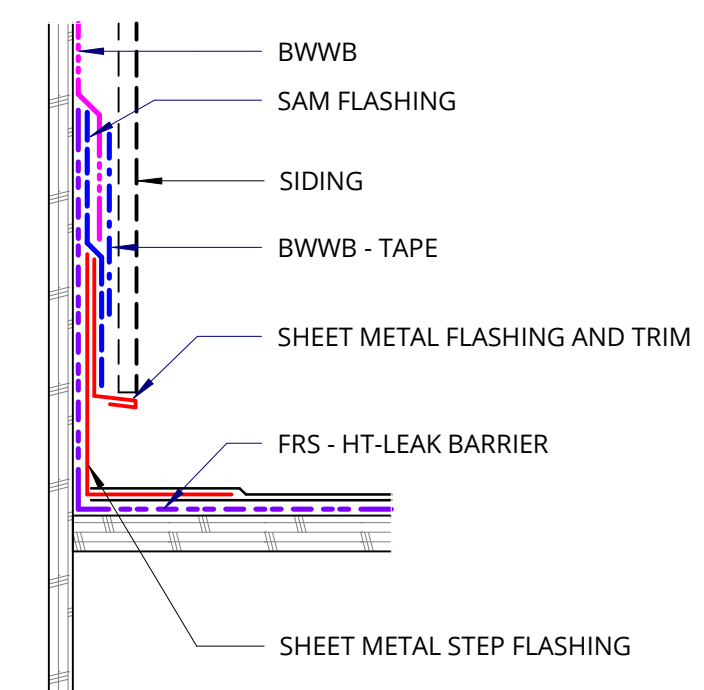
UNIT PLANS, RCPS

LAND USE

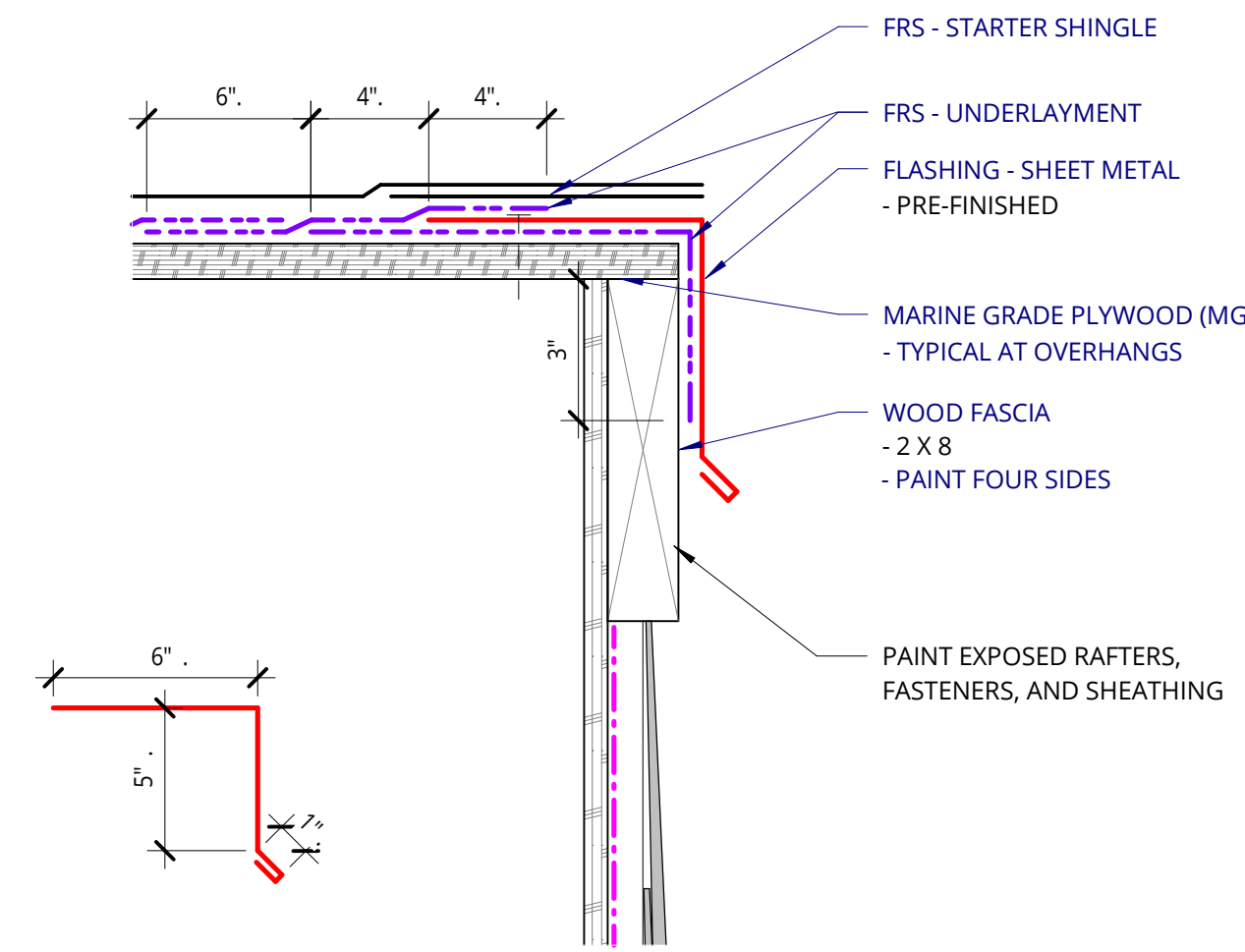
DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER: **A5.30**



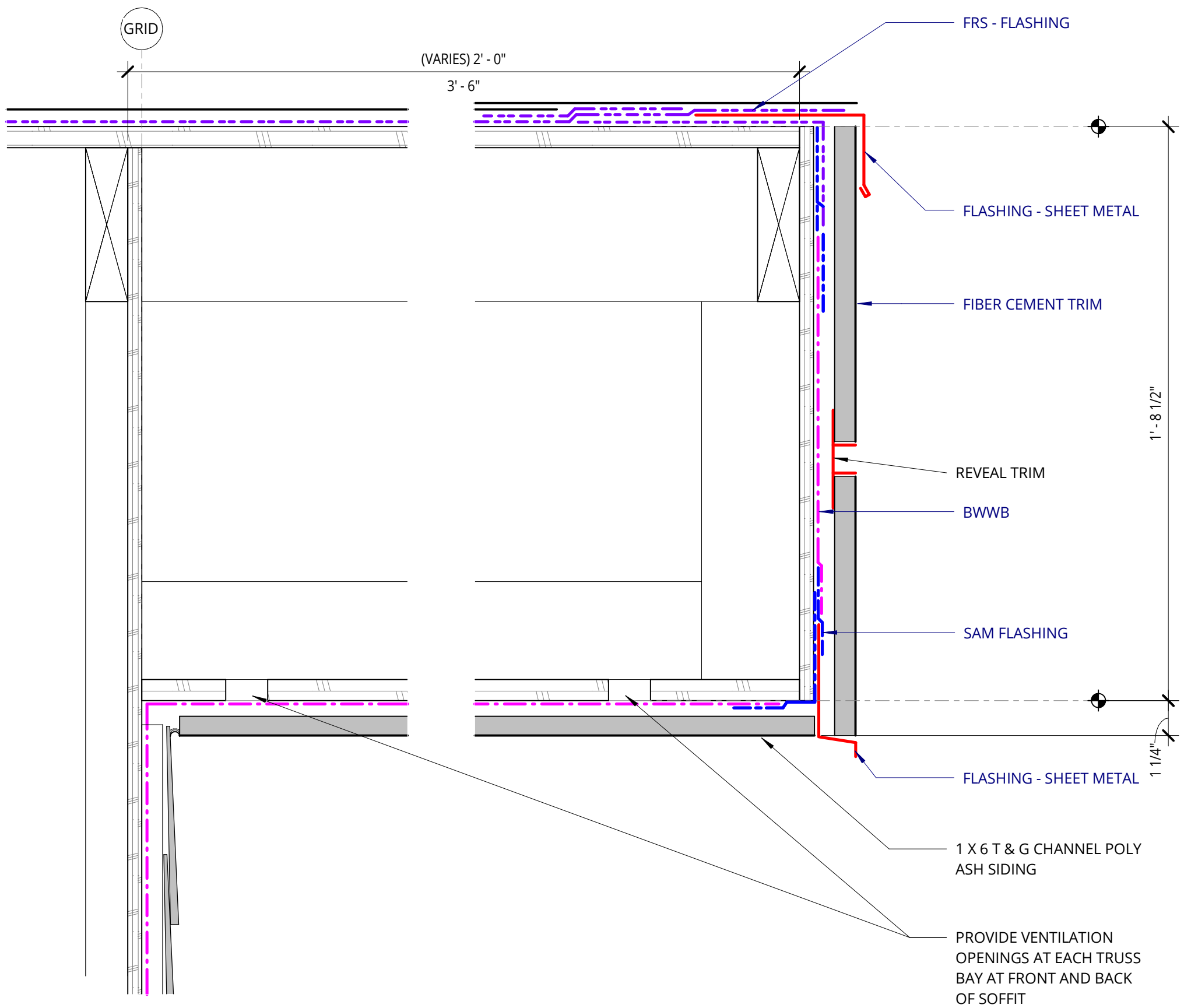
3 SHINGLES @ RIDGE VENT
3" = 1'-0"



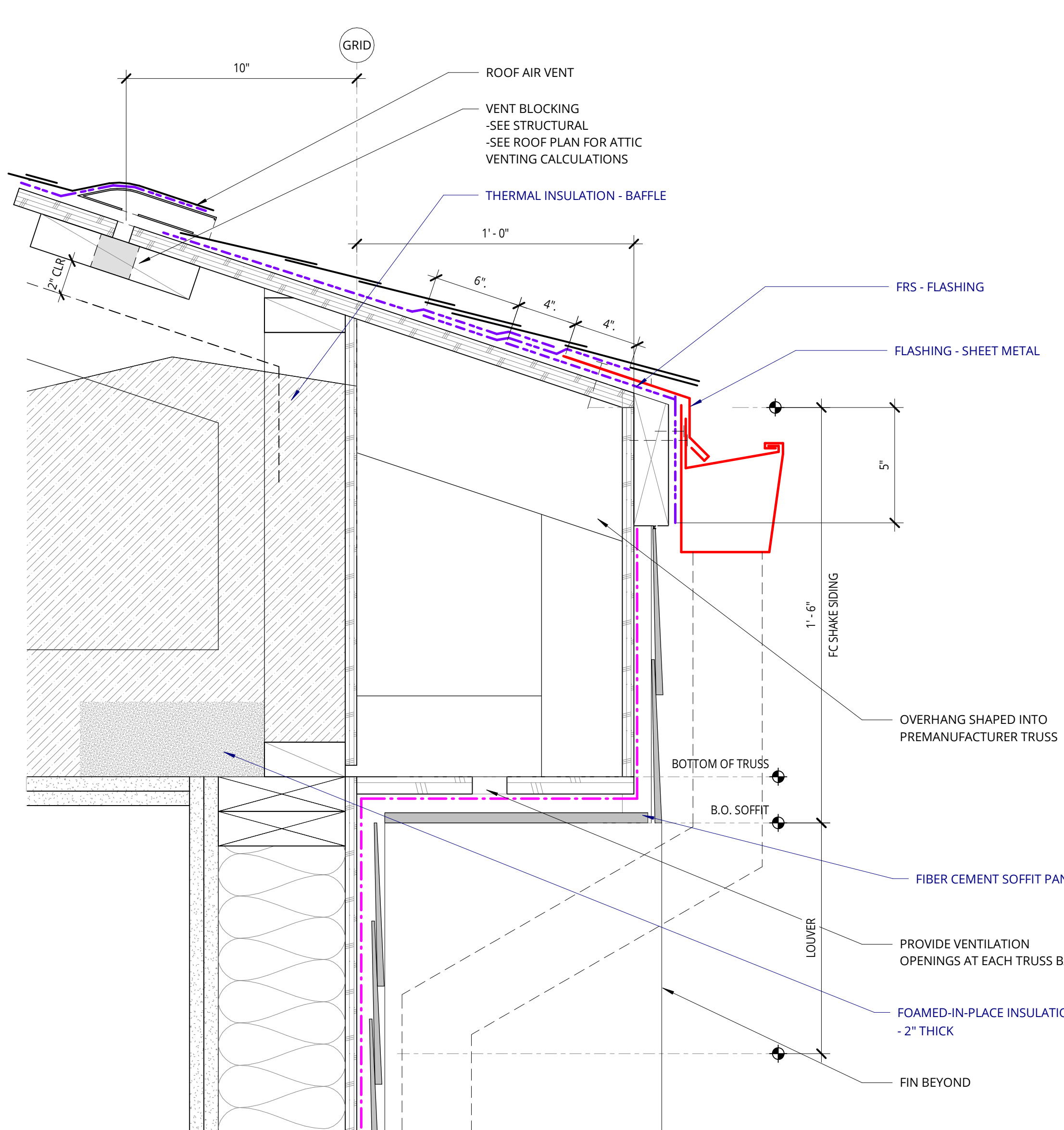
9 SHINGLES @ WALL
3" = 1'-0"



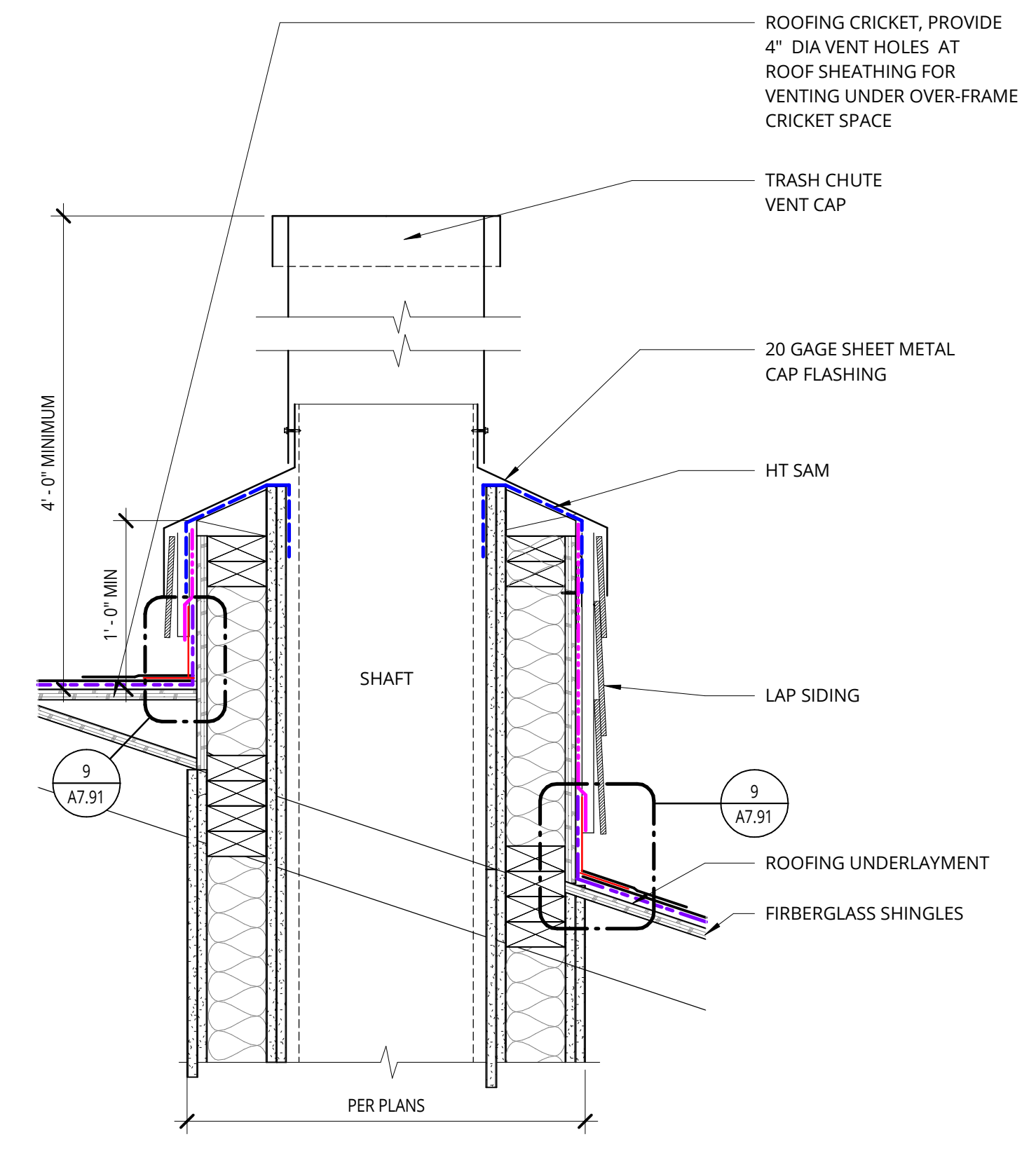
4 SHINGLES @ RAKE
3" = 1'-0"



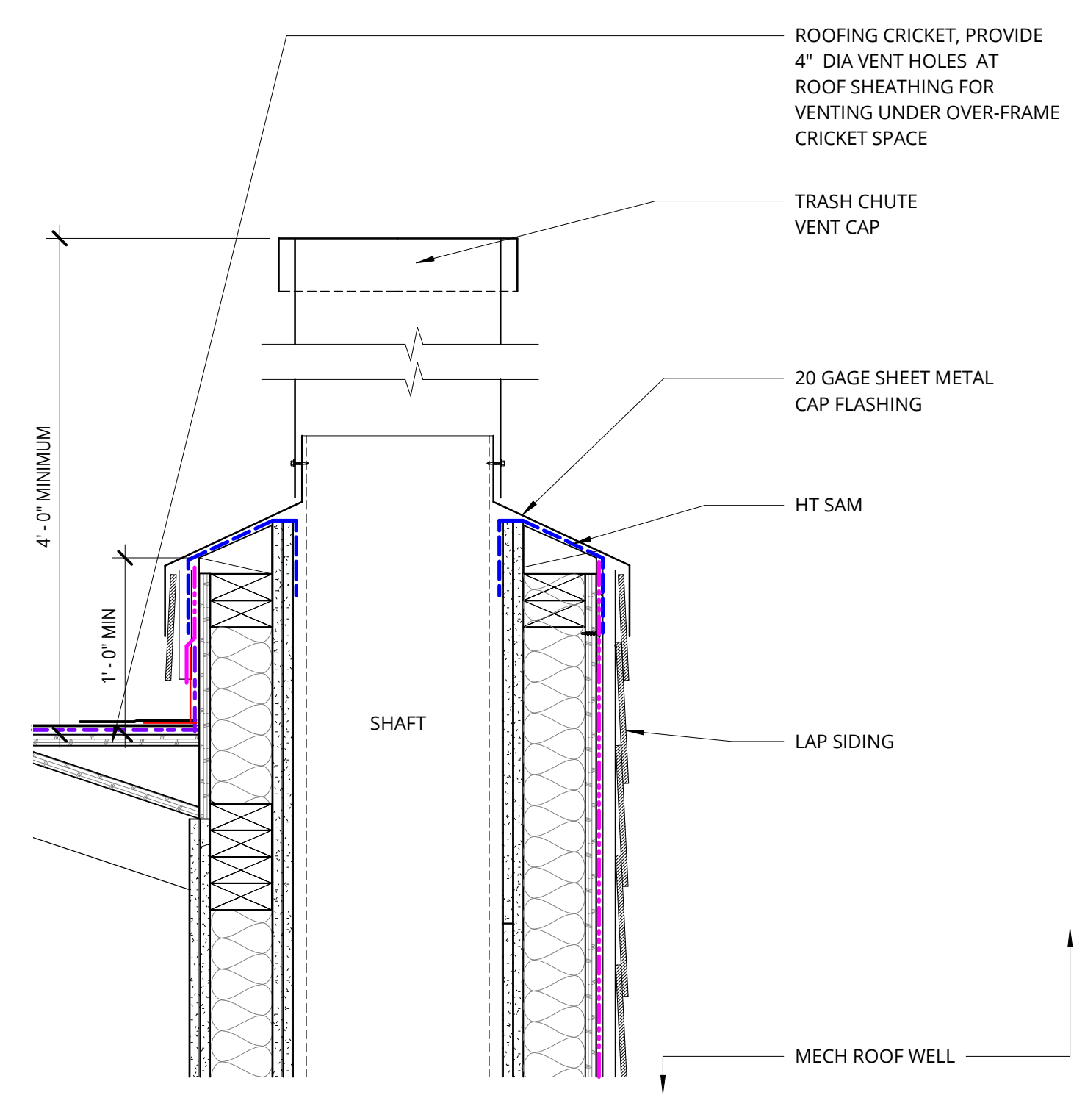
10 ROOF EAVE AT GABLE END
3" = 1'-0"



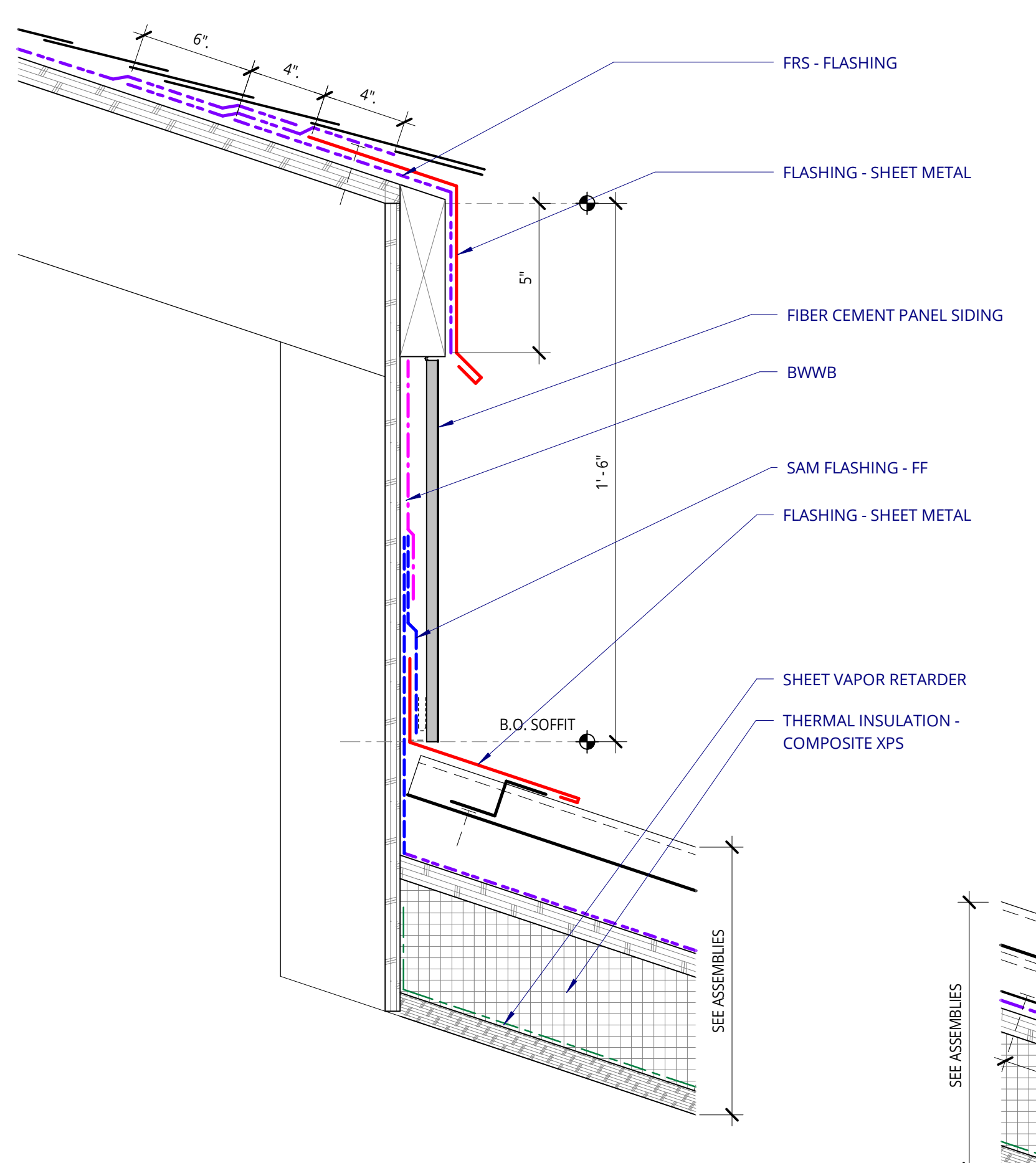
11 ROOF EAVE - RESIDENTIAL BUILDINGS
3" = 1'-0"



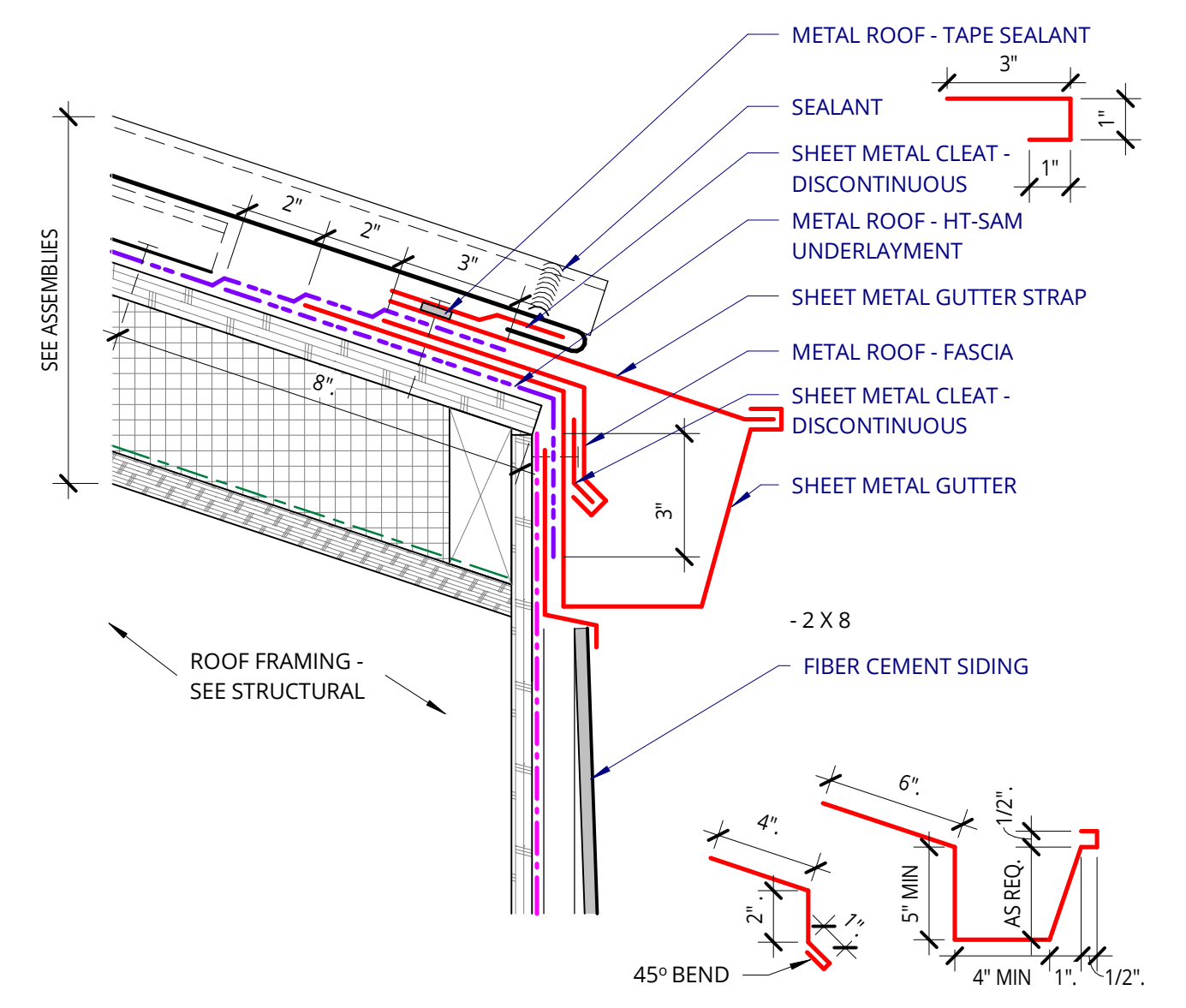
1 VENT AT TRASH CHUTE - BUILDING 1 AND 3
1 1/2" = 1'-0"



2 VENT AT TRASH CHUTE - BUILDING 2
1 1/2" = 1'-0"



12 METAL ROOF AT SHINGLE ROOF
3" = 1'-0"



13 METAL ROOF AT FC SIDING
3" = 1'-0"

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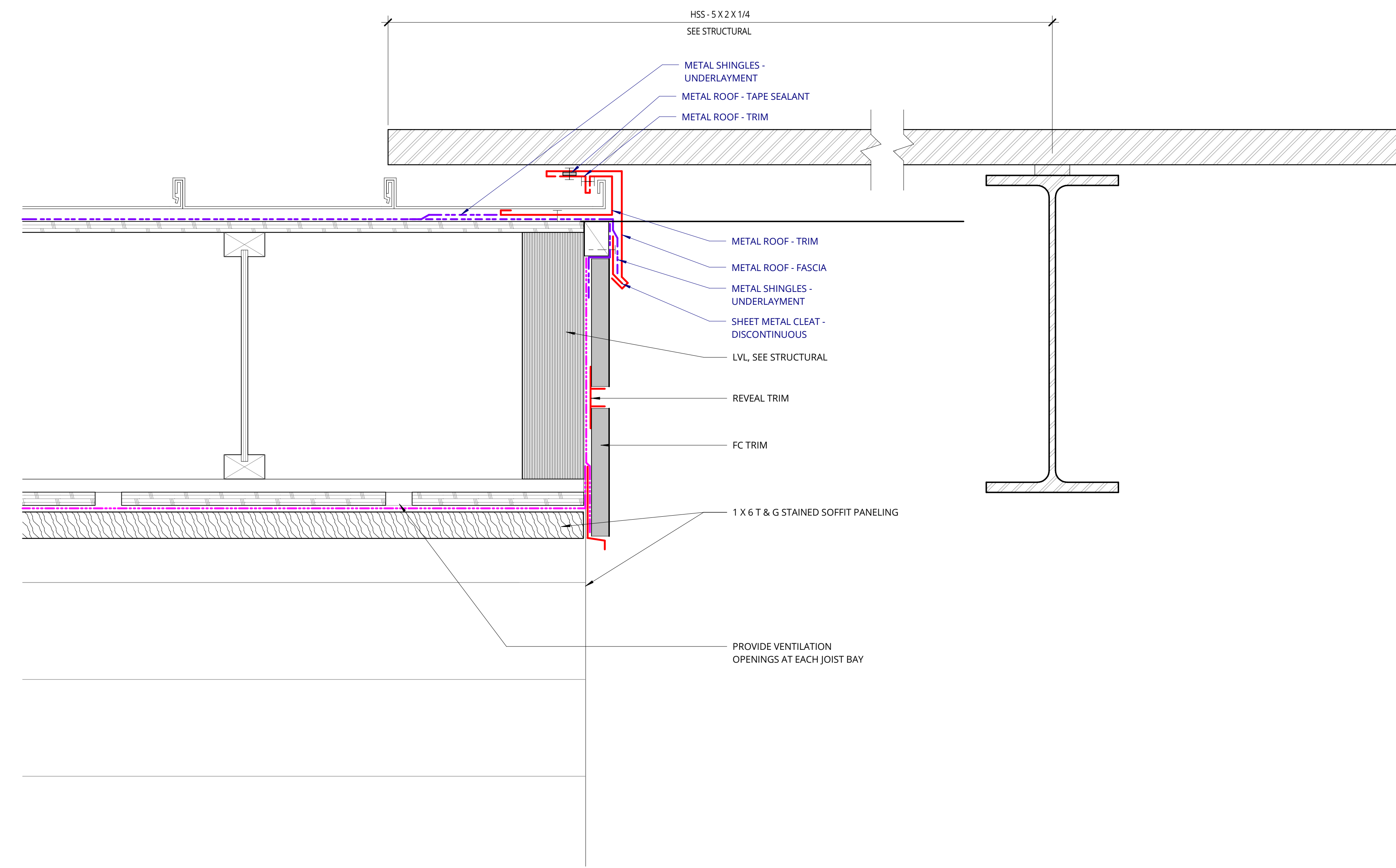
REVISION	DATE	REASON FOR ISSUE

ROOF DETAILS - FRS AND METAL

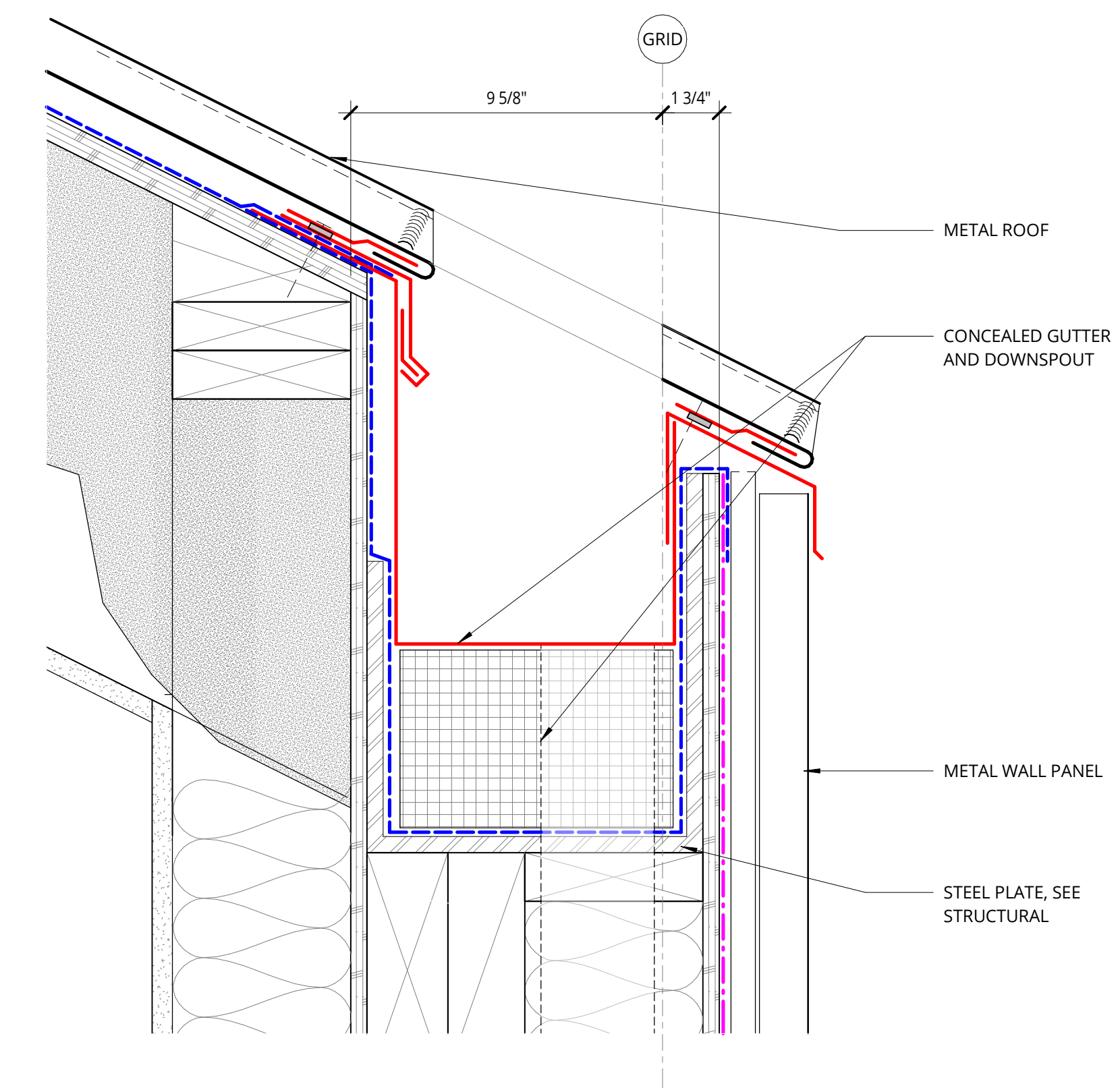
LAND USE

DATE: 5.25.2023 PROJECT NUMBER: 215390
SHEET NUMBER:

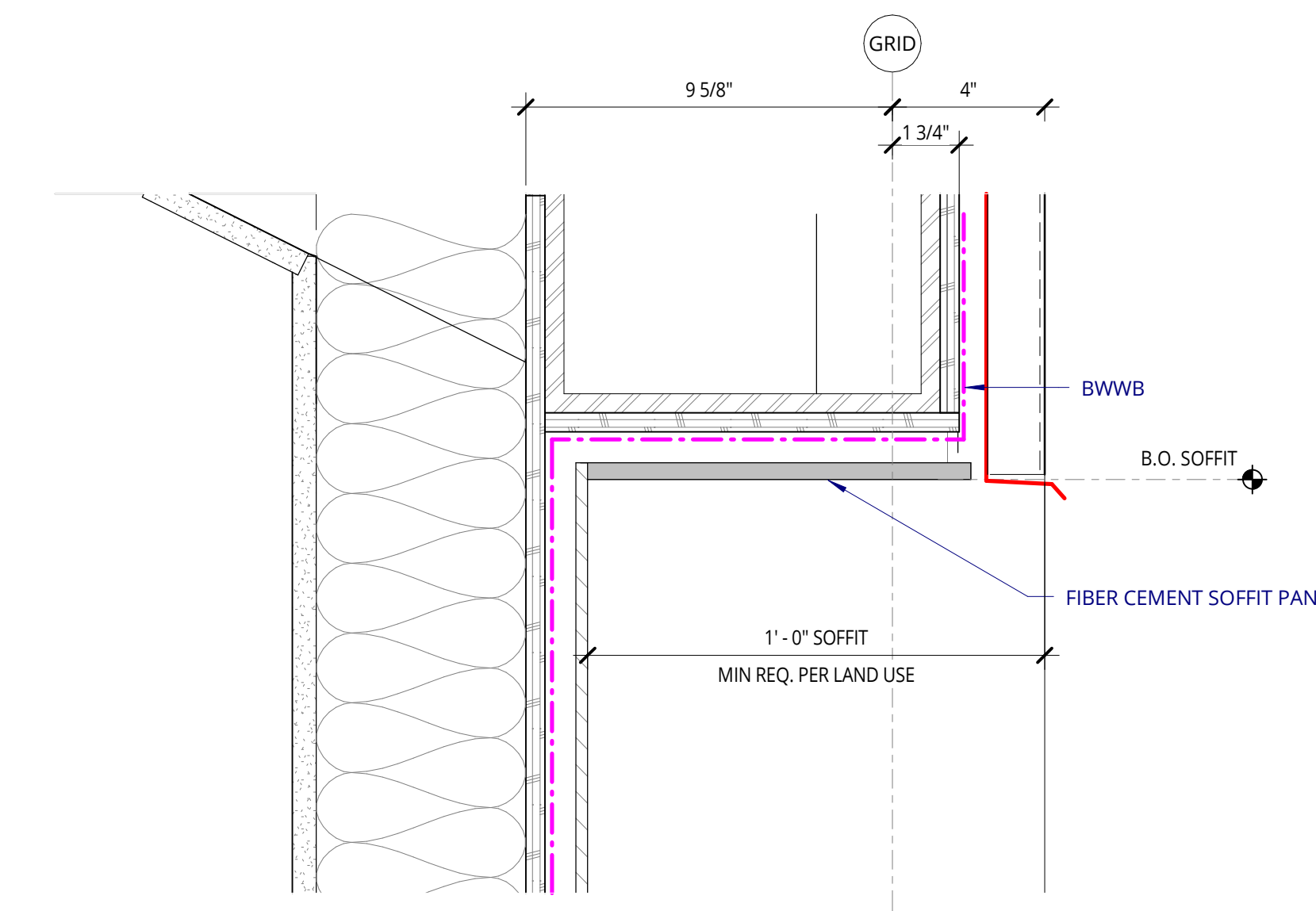
A7.91



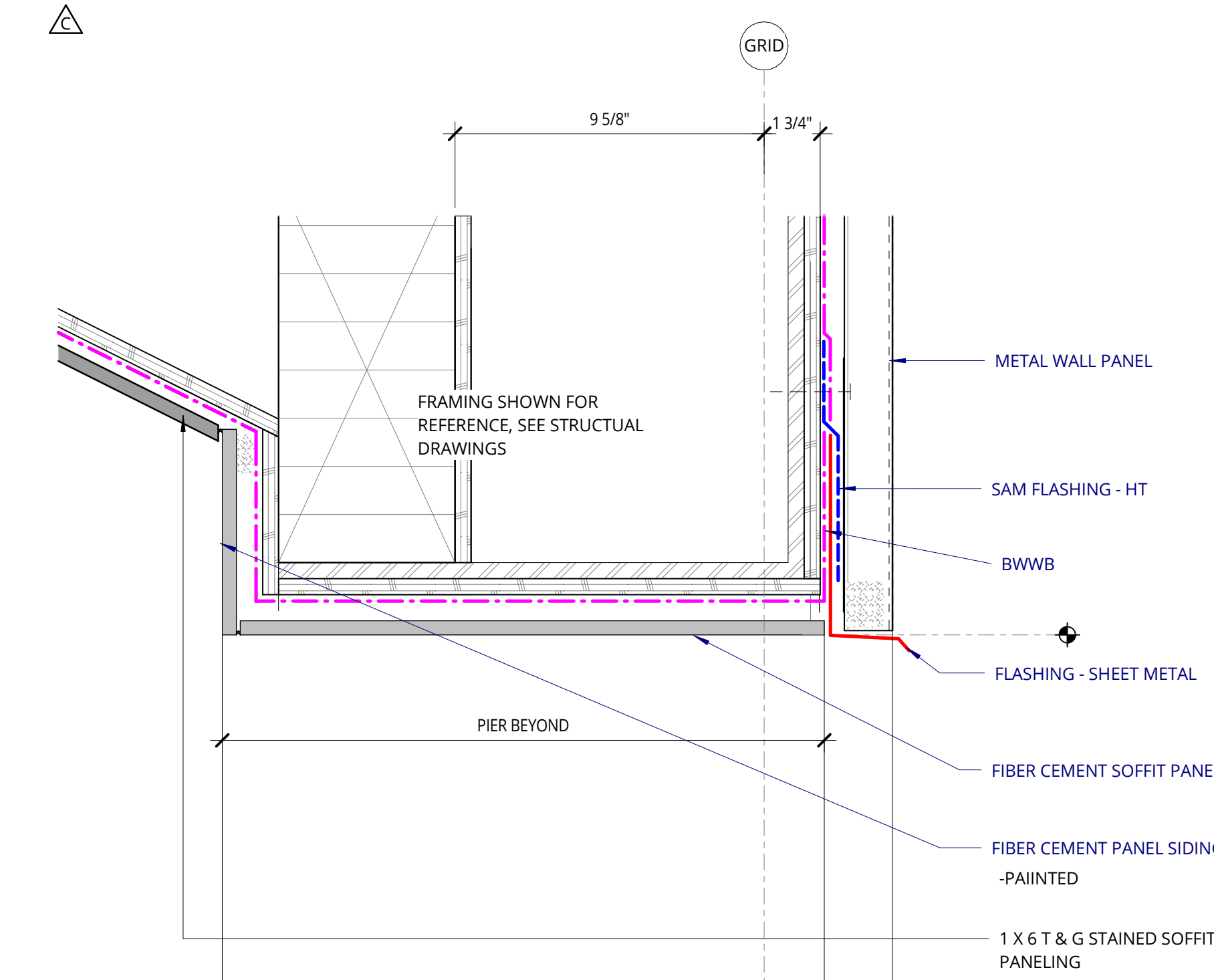
7 ROOF EDGE AT GABLE AT WIDE FLANGE/METAL SCREEN
3" = 1'-0"



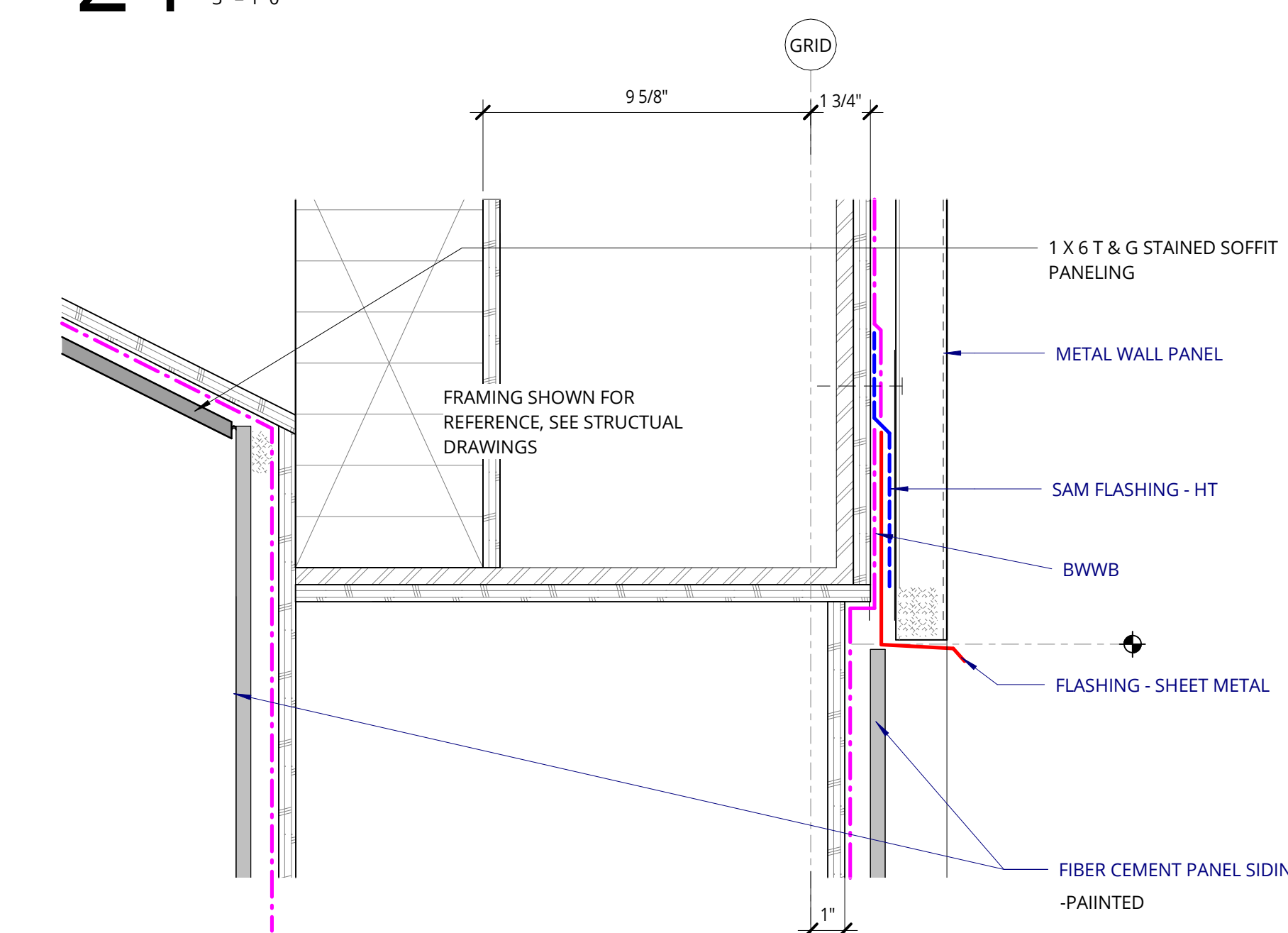
6 ROOF EAVE AT BUILDING 4
3" = 1'-0"



18 SOFFIT
3" = 1'-0"



24 SOFFIT AT PORCH
3" = 1'-0"



30 SECTION AT PIER
3" = 1'-0"

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ELMONICA BUILDING 4
SW 170TH AND W BASELINE

REMBOLD PROPERTIES

REVISION	DATE	REASON FOR ISSUE
B	4/4/2023	Permit Revision 1
C	4/28/2023	Land Use Revision 2

ROOF DETAILS - METAL BUILDING 4

LAND USE

DATE	PROJECT NUMBER
5.25.2023	215390

SHEET NUMBER **A7.95-4**